

FACILITY CONDITION ASSESSMENT



prepared for

Montgomery County Public Schools
45 West Gude Drive, Suite 4000
Rockville, MD 20850



Georgian Forest Elementary School
3100 Regina Drive
Silver Spring, MD 20906

PREPARED BY:

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BV PROJECT #:

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DATE OF REPORT:

October 3, 2025

ON SITE DATE:

August 21, 2025

Bureau Veritas

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1. Executive Summary

Property Overview and Assessment Details

General Information	
Property Type	Elementary school campus
Number of Buildings	1
Main Address	3100 Regina Drive, Silver Spring, MD 20906
Site Developed	1961 Renovated 2010
Outside Occupants / Leased Spaces	None
Date(s) of Visit	August 21, 2025
Management Point of Contact	Montgomery County Public Schools Greg Kellner Facilities Manager, Office of Facilities Management Direct 240.740.7746 Gregory_Kellner@mcpsmd.org
On-site Point of Contact (POC)	Edgar Ayala
Assessment & Report Prepared By	Tyler Murphy
Reviewed By	Daniel White, <i>Technical Report Reviewer for</i> , Bill Champion Program Manager 443.622.5067 Bill.Champion@bureauveritas.com
AssetCalc Link	Full dataset for this assessment can be found at: https://www.assetcalc.net/

Campus Findings and Deficiencies

Historical Summary

Georgian Forest Elementary was originally constructed in 1961 and was later extensively renovated in 1995. Portable classrooms were removed in 2012 and the construction of a two-story addition for classrooms began the same year.

Architectural

The structure is primarily of masonry load bearing construction with some elements of steel columns and beams as part of the two-story addition constructed in . The 2012 addition at the rear portion of the school, features a green roof system over modified bituminous membrane. Most of the finishes in the older portion of the school remain unchanged, but still functional with no major issues. There is a patch of the roof above the kitchen that has excessive ponding and requires repair in the short, but the remainder of the roof is in fair condition having been replaced in 2017.

Mechanical, Electrical, Plumbing and Fire (MEPF)

The mechanical system relies on four gas boilers for heat, two that were installed during the 2012 addition and two older ones that are still in use but should be replaced in the near term. There are two air-cooled chillers providing cooling along with split-systems for different zones throughout the school. There is a rooftop energy return ventilator that is not in use much anymore due to an issue with leaks. The two air-cooled chillers are reportedly plenty to air condition the school. These, along with several air handler units, feed into small fan coil units throughout the new portion of the building. There are many exhaust fans on the roof and almost all of them should be replaced in the near term due to age and performance.

The electrical system is comprised of many transformers throughout the building along with a main switchboard that all appear to have been replaced during or shortly after the 2012 addition.

The plumbing system is comprised of a commercial gas water heater, bottle filler stations, drinking fountains, and typical restroom fixtures.

The school has a fully addressable fire alarm system and has full sprinkler coverage.

Site

The site is very hilly and the school resides on the slope of the main hill. There are two playgrounds and an asphalt sports court at the top of the hill at the rear of the school. There is also a playing field and a baseball backstop there. The side of the building has another playground structure located near the generator and one of the chillers.

Recommended Additional Studies

No additional studies recommended at this time.

Facility Characteristic Survey

The facility characteristics of school and associated buildings are shown below.

Indoor air quality including temperature and relative humidity level are monitored centrally. Most instructional spaces are equipped with IAQ sensors. Each general and specialty classroom has a heating, ventilation, and air conditioning (HVAC) system capable of maintaining a temperature between 68°F and 75°F and a relative humidity between 30% and 60% at full occupancy. Each general, science, and fine-arts classroom had an HVAC system that continuously moves air and is capable of maintaining a carbon dioxide level of not more than 1,200 parts per million. The temperature, relative humidity and air quality were measured at a work surface in the approximate center of the classroom.

The acoustics with the exception of physical-education spaces, each general and specialty classroom are maintainable at a sustained background sound level of less than 55 decibels. The sound levels were measured at a work surface in the approximate center of the classroom.

Each general and specialty classroom had a lighting system capable of maintaining at least 50 foot-candles of well-distributed light. The school has appropriate task lighting in specialty classrooms where enhanced visibility is required. The light levels measured at a work surface located in the approximate center of the classroom, between clean light fixtures. The school makes efficient use of natural light for students, teachers, and energy conversation.

Classroom spaces, including those for physical education, were sufficient for educational programs that are appropriate for the class-level needs. With the exception of physical-education spaces, each general and specialty classroom contained a work surface and seat for each student in the classroom. The work surface and seat were appropriate for the normal activity of the class conducted in the room.

Each general and specialty classroom had an erasable surface and a surface suitable for projection purposes, appropriate for group classroom instruction, and a display surface. Each general and specialty classroom had storage for classroom materials or access to conveniently located storage.

With the exception of physical-education spaces and music-education spaces, each general and specialty classroom shall had a work surface and seat for the teacher and for any aide assigned to the classroom. The classroom had secure storage for student records that is located in the classroom or is conveniently accessible to the classroom.

The school was constructed with sustainable design practices. The schools use durable, timeless, low-maintenance exterior materials. The school's materials (particularly shell) should withstand time as well as potential impacts related to structural, site and climate changes.

The school is functionally equitable. All students in this school have access to safe, well-maintained, and appropriately equipped learning environments as students in other MCPS schools. As part of the evaluation factor, the MDCl will be presented upon final of all assessments.

Facility Condition Index (FCI) Depleted Value

A School Facility's total FCI Depleted Value (below) and FCI Replacement Value (above) are the sum of all of its building assets and systems values. A School Facility with full estimated life of all systems (a brand new school) would have a 0 FCI. The FCIs cannot exceed 1.

The Facility Condition Index (FCI) Depleted Value quantifies the depleted life and value of a facility's primary building assets, systems and components such as roofs, windows, walls, and HVAC systems. FCI Depleted Value metrics are useful for estimating the levels of spending necessary to achieve and maintain a specific level of physical condition. Lower scores are better, as facilities with lower FCI scores have fewer building-system deficiencies, are more reliable, and will require less maintenance spending on systems replacement and mission-critical emergencies.

The FCI Depleted Value of this school is 0.471800.

Immediate Needs

Facility/Building	Total Items	Total Cost
Georgian Forest Elementary School	1	\$10,000
Total	1	\$10,000

Georgian Forest Elementary School

<u>ID</u>	<u>Location</u> <u>Description</u>	<u>UF</u> <u>Code</u>	<u>Description</u>	<u>Condition</u>	<u>Plan Type</u>	<u>Cost</u>
9749704	Roof	D3050	HVAC System, any type, Repairs per Man-Day, Repair	Poor	Performance/Integrity	\$10,000
Total (1 items)						\$10,000

Key Findings



Roofing in Poor Condition.

Modified Bitumen
Georgian Forest Elementary School Georgian
Forest Elementary School Roof

Uniformat Code: B3010
Recommendation: **Replace in 2026**

Priority Score: **88.8**

Plan Type:
Performance/Integrity

Cost Estimate: \$2,500

\$\$\$\$

Ponding on roof above kitchen around the HVAC unit. - AssetCALC ID: 9731671



Generator in Poor Condition.

Gas or Gasoline
Georgian Forest Elementary School Georgian
Forest Elementary School Building Exterior

Uniformat Code: D5010
Recommendation: **Replace in 2027**

Priority Score: **88.7**

Plan Type:
Performance/Integrity

Cost Estimate: \$52,000

\$\$\$\$

Generator is aged well beyond expected lifespan, and the exterior shroud has quite a bit of corrosion and dirt.
- AssetCALC ID: 9731627



Exhaust Fan in Poor Condition.

Roof or Wall-Mounted, 10" Damper
Georgian Forest Elementary School Georgian
Forest Elementary School Roof

Uniformat Code: D3060
Recommendation: **Replace in 2026**

Priority Score: **85.8**

Plan Type:
Performance/Integrity

Cost Estimate: \$1,200

\$\$\$\$

Exhaust fan is exceedingly aged, bent, and corroded. - AssetCALC ID: 9731625



Exhaust Fan in Poor Condition.

Roof or Wall-Mounted, 10" Damper
Georgian Forest Elementary School Georgian
Forest Elementary School Roof

Uniformat Code: D3060
Recommendation: **Replace in 2027**

Priority Score: **85.7**

Plan Type:
Performance/Integrity

Cost Estimate: \$1,200

\$\$\$\$

Unit is aged beyond expected lifespan and is making noise. - AssetCALC ID: 9731547



Exhaust Fan in Poor Condition.

Roof or Wall-Mounted, 24" Damper
Georgian Forest Elementary School Georgian
Forest Elementary School Roof

Uniformat Code: D3060
Recommendation: **Replace in 2027**

Priority Score: **85.7**

Plan Type:
Performance/Integrity

Cost Estimate: \$3,000

\$\$\$\$

Exhaust fan is exceedingly aged and corroded. - AssetCALC ID: 9731529



Exhaust Fan in Poor Condition.

Roof or Wall-Mounted, 10" Damper
Georgian Forest Elementary School Georgian
Forest Elementary School Roof

Uniformat Code: D3060
Recommendation: **Replace in 2027**

Priority Score: **85.7**

Plan Type:
Performance/Integrity

Cost Estimate: \$1,200

\$\$\$\$

Exhaust fan is exceedingly aged and corroded - AssetCALC ID: 9731594



Exhaust Fan in Poor Condition.

Roof or Wall-Mounted, 16" Damper
Georgian Forest Elementary School Georgian
Forest Elementary School Roof

Uniformat Code: D3060
Recommendation: **Replace in 2027**

Priority Score: **85.7**

Plan Type:
Performance/Integrity

Cost Estimate: \$2,400

\$\$\$\$

Exhaust fan is exceedingly aged and corroded. - AssetCALC ID: 9731613



Exhaust Fan in Poor Condition.

Centrifugal, 12" Damper
Georgian Forest Elementary School Georgian
Forest Elementary School Roof

Uniformat Code: D3060
Recommendation: **Replace in 2027**

Priority Score: **85.7**

Plan Type:
Performance/Integrity

Cost Estimate: \$1,400

\$\$\$\$

Exhaust fan is exceedingly aged and corroded. - AssetCALC ID: 9731561



Exhaust Fan in Poor Condition.

Roof or Wall-Mounted, 10" Damper
Georgian Forest Elementary School Georgian
Forest Elementary School Roof

Uniformat Code: D3060
Recommendation: **Replace in 2027**

Priority Score: **85.7**

Plan Type:
Performance/Integrity

Cost Estimate: \$1,200

\$\$\$\$

Exhaust fan is exceedingly aged and corroded. - AssetCALC ID: 9731616



Exhaust Fan in Poor Condition.

Roof or Wall-Mounted, 10" Damper
Georgian Forest Elementary School Georgian
Forest Elementary School Roof

Uniformat Code: D3060
Recommendation: **Replace in 2027**

Priority Score: **85.7**

Plan Type:
Performance/Integrity

Cost Estimate: \$1,200

\$\$\$\$

Exhaust fan is exceedingly aged and corroded. - AssetCALC ID: 9731559



Exhaust Fan in Poor Condition.

Roof or Wall-Mounted, 16" Damper
Georgian Forest Elementary School Georgian
Forest Elementary School Roof

Uniformat Code: D3060
Recommendation: **Replace in 2027**

Priority Score: **85.7**

Plan Type:
Performance/Integrity

Cost Estimate: \$2,400

\$\$\$\$

Exhaust fan is exceedingly aged and corroded. - AssetCALC ID: 9731498



Split System in Poor Condition.

Condensing Unit/Heat Pump, 5 TON
Georgian Forest Elementary School Georgian
Forest Elementary School Roof

Uniformat Code: D3030
Recommendation: **Replace in 2025**

Priority Score: **81.9**

Plan Type:
Performance/Integrity

Cost Estimate: \$7,100

\$\$\$\$

Unit is corroded on the exterior and is well beyond expected lifespan. Data plate model number is hidden. - AssetCALC ID: 9731673



Foodservice Equipment in Poor Condition.

Food Warmer, Proofing Cabinet on Wheels
Georgian Forest Elementary School Georgian
Forest Elementary School Kitchen

Uniformat Code: E1030
Recommendation: **Replace in 2026**

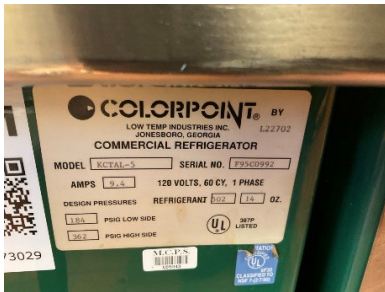
Priority Score: **81.8**

Plan Type:
Performance/Integrity

Cost Estimate: \$1,700

\$\$\$\$

Unit is exceedingly aged and should be replaced in the short term. - AssetCALC ID: 9731610



Foodservice Equipment in Poor Condition.

Food Warmer, Tabletop Drawers (Set of 4)
Georgian Forest Elementary School Georgian
Forest Elementary School Kitchen

Uniformat Code: E1030
Recommendation: **Replace in 2026**

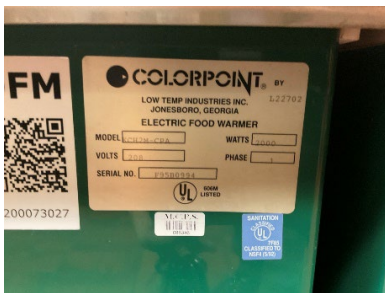
Priority Score: **81.8**

Plan Type:
Performance/Integrity

Cost Estimate: \$5,700

\$\$\$\$

Unit is exceedingly aged and should be replaced in the short term. - AssetCALC ID: 9731621



Foodservice Equipment in Poor Condition.

Food Warmer, Proofing Cabinet on Wheels
Georgian Forest Elementary School Georgian
Forest Elementary School Kitchen

Uniformat Code: E1030
Recommendation: **Replace in 2026**

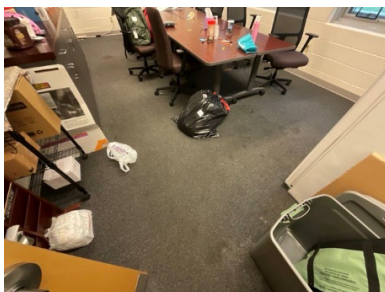
Priority Score: **81.8**

Plan Type:
Performance/Integrity

Cost Estimate: \$1,700

\$\$\$\$

Unit is exceedingly aged and should be replaced in the short term. - AssetCALC ID: 9731586



Flooring in Poor Condition.

Carpet, Commercial Standard
Georgian Forest Elementary School Georgian
Forest Elementary School Office Areas

Uniformat Code: C2030
Recommendation: **Replace in 2027**

Priority Score: **81.7**

Plan Type:
Performance/Integrity

Cost Estimate: \$66,000

\$\$\$\$

Heavily worn and stained carpets - AssetCALC ID: 9731503



Split System in Poor Condition.

Condensing Unit/Heat Pump
Georgian Forest Elementary School Georgian
Forest Elementary School Roof

Uniformat Code: D3030
Recommendation: **Replace in 2027**

Priority Score: **81.7**

Plan Type:
Performance/Integrity

Cost Estimate: \$25,300

\$\$\$\$

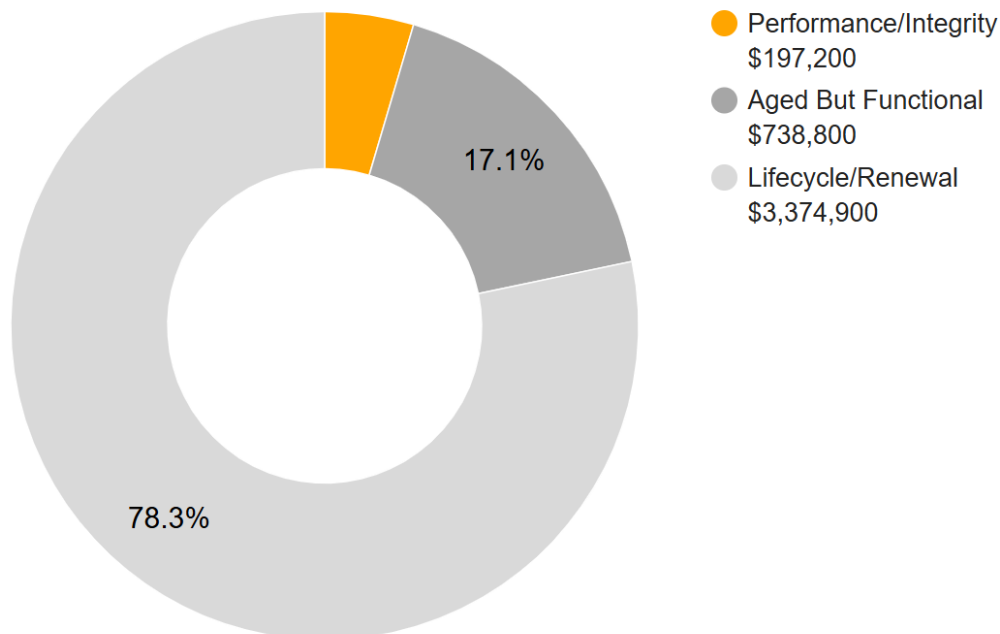
Unit is exceedingly aged double life and corrosion damaged. - AssetCALC ID: 9731490

Plan Types

Each line item in the cost database is assigned a Plan Type, which is the primary reason or rationale for the recommended replacement, repair, or other corrective action. This is the “why” part of the equation. A cost or line item may commonly have more than one applicable Plan Type; however, only one Plan Type will be assigned based on the “best” fit, typically the one with the greatest significance and highest on the list below.

Plan Type Descriptions & Distribution

Safety	■	An observed or reported unsafe condition that if left unaddressed could result in injury; a system or component that presents potential liability risk.
Performance/Integrity	■	Component or system has failed, is almost failing, performs unreliably, does not perform as intended, and/or poses risk to overall system stability.
Accessibility	■	Does not meet ADA, UFAS, and/or other accessibility requirements.
Environmental	■	Improvements to air or water quality, including removal of hazardous materials from the building or site.
Retrofit/Adaptation	■	Components, systems, or spaces recommended for upgrades in order to meet current standards, facility usage, or client/occupant needs.
Aged But Functional	■	Any component or system that has aged past its industry-average expected useful life (EUL) but is not currently deficient or problematic.
Lifecycle/Renewal	■	Any component or system that is neither deficient nor aged past EUL but for which future replacement or repair is anticipated and budgeted.



10-YEAR TOTAL: \$4,310,900

2. Building Information



Building: Systems Summary

Address	3100 Regina Drive, Silver Spring, MD 20906	
GPS Coordinates	39.0757878, -77.0609324	
Constructed/Renovated	1961/ 2010	
Building Area	88,111 SF	
Number of Stories	2 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Steel frame with concrete-topped metal decks over concrete pad column footings Masonry Bearing Walls on old half of the building	Good
Façade	Primary Wall Finish: Brick Secondary Wall Finish: Metal siding Windows: Aluminum	Fair
Roof	Primary: Flat construction with modified bituminous finish Secondary: Flat construction with modified bituminous finish topped with green roof trays	Fair
Interiors	Walls: Painted gypsum board, painted and glazed CMU, ceramic tile Floors: Carpet, VCT, ceramic tile, quarry tile, wood strip Ceilings: Painted gypsum board and ACT and wood paneling	Fair
Elevators	Passenger: 1 hydraulic car serving both floors	Fair

Building: Systems Summary		
Plumbing	Distribution: Copper supply and PVC waste & venting Hot Water: Gas water heaters with integral tanks Fixtures: Toilets, urinals, and sinks in all restrooms	Fair
HVAC	Central System: Boilers, chillers and air handlers feeding fan coil and cabinet terminal units Supplemental components: Ductless split-systems and Split-system heat pumps and an ERU on the roof.	Fair
Fire Suppression	Wet-pipe sprinkler system and fire extinguishers, and kitchen hood system	Fair
Electrical	Source & Distribution: Main switchboard with copper wiring Interior Lighting: LED Exterior Building-Mounted Lighting: LED Emergency Power: Natural gas generator with automatic transfer switch	Fair
Fire Alarm	Alarm panel with smoke detectors, heat detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	Commercial kitchen equipment	Fair
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	The interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, the exterior walls of the facility, and the roofs.	
Key Spaces Not Observed	All key areas of the facility were accessible and observed.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	-	-	-	\$31,100	\$531,300	\$562,400
Roofing	-	\$2,600	-	\$354,400	\$767,100	\$1,124,000
Interiors	-	\$70,000	\$16,000	\$1,710,700	\$884,300	\$2,681,000
Conveying	-	-	-	\$10,700	-	\$10,700
Plumbing	-	-	\$11,900	\$14,500	\$234,400	\$260,900
HVAC	\$7,100	\$171,100	\$192,100	\$526,300	\$1,343,800	\$2,240,400
Fire Protection	-	-	-	\$123,000	\$15,000	\$138,000
Electrical	-	\$95,200	\$13,300	\$79,100	\$916,900	\$1,104,400
Fire Alarm & Electronic Systems	-	-	-	\$567,900	\$207,300	\$775,200
Equipment & Furnishings	-	\$9,400	\$62,600	\$12,500	\$70,000	\$154,500
TOTALS (3% inflation)	\$7,100	\$348,200	\$296,000	\$3,430,200	\$4,970,100	\$9,051,600

3. Site Summary



Site Information		
Site Area	8 acres	
Parking Spaces	54 total spaces all in open lots; 4 of which are accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Site Pavement	Asphalt lots with limited areas of concrete aprons and pavement and adjacent concrete sidewalks, curbs, ramps, and stairs	Fair
Site Development	Building-mounted signage; chain link fencing; Playgrounds and sports fields and courts with fencing and site lights Heavily furnished with park benches, picnic tables, trash receptacles	Fair
Landscaping & Topography	Significant landscaping features including lawns, trees, bushes, and planters Irrigation not present CMU retaining walls Severe site slopes throughout	Good
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Good
Site Lighting	Pole-mounted: LED Pedestrian walkway and landscape accent lighting	Good
Ancillary Structures	None	--

Site Information	
Site Accessibility	Presently it does not appear an accessibility study is needed for the exterior site areas. See the appendix for associated photos and additional information.
Site Additional Studies	No additional studies are currently recommended for the exterior site areas.
Site Areas Observed	The exterior areas within the property boundaries were observed to gain a clear understanding of the site's overall condition.
Site Key Spaces Not Observed	All key areas of the exterior site were accessible and observed.

The table below shows the anticipated costs by trade or site system over the next 20 years.

System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Site Development	-	-	\$6,600	\$165,000	\$130,700	\$302,300
Site Pavement	-	-	\$22,100	\$25,700	\$64,200	\$112,000
Site Utilities	-	-	-	-	\$45,600	\$45,600
TOTALS (3% inflation)	-	-	\$28,700	\$190,700	\$240,600	\$460,000

4. ADA Accessibility

Generally, Title II of the Americans with Disabilities Act (ADA) prohibits discrimination by entities to access and use of “areas of public accommodations” and “public facilities” on the basis of disability. Regardless of their age, these areas and facilities must be maintained and operated to comply with the Americans with Disabilities Act Accessibility Guidelines (ADAAG).

A public entity (i.e. city governments) shall operate each service, program, or activity so that the service, program, or activity, when viewed in its entirety, is readily accessible to and usable by individuals with disabilities.

However, this does not:

1. Necessarily require a public entity to make each of its existing facilities accessible to and usable by individuals with disabilities;
2. Require a public entity to take any action that would threaten or destroy the historic significance of an historic property; or
3. Require a public entity to take any action that it can demonstrate would result in a fundamental alteration in the nature of a service, program, or activity or in undue financial and administrative burdens. In those circumstances where personnel of the public entity believe that the proposed action would fundamentally alter the service, program, or activity or would result in undue financial and administrative burdens, a public entity has the burden of proving that compliance with 35.150(a) of this part would result in such alteration or burdens. The decision that compliance would result in such alteration or burdens must be made by the head of a public entity or his or her designee after considering all resources available for use in the funding and operation of the service, program, or activity, and must be accompanied by a written statement of the reasons for reaching that conclusion. If an action would result in such an alteration or such burdens, a public entity shall take any other action that would not result in such an alteration or such burdens but would nevertheless ensure that individuals with disabilities receive the benefits or services provided by the public entity.

Removal of barriers to accessibility should be addressed from a liability standpoint in order to comply with federal law, but the barriers may or may not be building code violations. The Americans with Disabilities Act Accessibility Guidelines are part of the ADA federal civil rights law pertaining to the disabled and are not a construction code. State and local jurisdictions have adopted the ADA Guidelines or have adopted other standards for accessibility as part of their construction codes.

During the FCA, Bureau Veritas performed a limited high-level accessibility review of the facility non-specific to any local regulations or codes. The scope of the visual observation was limited to the same areas observed while performing the FCA and the categories set forth in the material included in the appendix. It is understood by the Client that the limited observations described herein do not comprise a full ADA Compliance Survey, and that such a survey is beyond the scope of this assessment. A full measured ADA survey would be required to identify more specific potential accessibility issues. Additional clarifications of this limited survey:

- This survey was visual in nature and actual measurements were not taken to verify compliance
- Only a representative sample of areas was observed
- Two overview photos were taken for each subsection regardless of perceived compliance or non-compliance
- Itemized costs for individual non-compliant items are not included in the dataset
- For any “none” boxes checked or reference to “no issues” identified, that alone does not guarantee full compliance

The following table summarizes the accessibility conditions of the general site and each significant building or building group included in this report:

Accessibility Summary			
<i>Facility</i>	<i>Year Built/ Renovated</i>	<i>Prior Study Provided?</i>	<i>Major/Moderate Issues Observed?</i>
Building	1961/1995	Yes	No
General Site	1961/1995	Yes	No

No detailed follow-up accessibility study is currently recommended since no major or moderate issues were identified at the subject site. Reference the appendix for specific data, photos, and tables or checklists associated with this limited accessibility survey.

5. Purpose and Scope

Purpose

Bureau Veritas was retained by the client to render an opinion as to the Property's current general physical condition on the day of the site visit.

Based on the observations, interviews and document review outlined below, this report identifies significant deferred maintenance issues, existing deficiencies, and material code violations of record, which affect the Property's use. Opinions are rendered as to its structural integrity, building system condition and the Property's overall condition. The report also notes building systems or components that have realized or exceeded their typical expected useful lives.

The physical condition of building systems and related components are typically defined as being in one of five condition ratings. For the purposes of this report, the following definitions are used:

Condition Ratings	
Excellent	New or very close to new; component or system typically has been installed within the past year, sound and performing its function. Eventual repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
Good	Satisfactory as-is. Component or system is sound and performing its function, typically within the first third of its lifecycle. However, it may show minor signs of normal wear and tear. Repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
Fair	Showing signs of wear and use but still satisfactory as-is, typically near the median of its estimated useful life. Component or system is performing adequately at this time but may exhibit some signs of wear, deferred maintenance, or evidence of previous repairs. Repair or replacement will be required due to the component or system's condition and/or its estimated remaining useful life.
Poor	Component or system is significantly aged, flawed, functioning intermittently or unreliably; displays obvious signs of deferred maintenance; shows evidence of previous repair or workmanship not in compliance with commonly accepted standards; has become obsolete; or exhibits an inherent deficiency. The present condition could contribute to or cause the deterioration of contiguous elements or systems. Either full component replacement is needed or repairs are required to restore to good condition, prevent premature failure, and/or prolong useful life.
Failed	Component or system has ceased functioning or performing as intended. Replacement, repair, or other significant corrective action is recommended or required.
Not Applicable	Assigning a condition does not apply or make logical sense, most commonly due to the item in question not being present.

Scope

The standard scope of the Facility Condition Assessment includes the following:

- Visit the Property to evaluate the general condition of the building and site improvements, review available construction documents in order to familiarize ourselves with, and be able to comment on, the in-place construction systems, life safety, mechanical, electrical, and plumbing systems, and the general built environment.
- Identify those components that are exhibiting deferred maintenance issues and provide cost estimates for Immediate Costs and Replacement Reserves based on observed conditions, maintenance history and industry standard useful life estimates. This will include the review of documented capital improvements completed within the last five-year period and work currently contracted for, if applicable.
- Provide a full description of the Property with descriptions of in-place systems and commentary on observed conditions.
- Provide a high-level categorical general statement regarding the subject Property's compliance to Title III of the Americans with Disabilities Act. This will not constitute a full ADA survey, but will help identify exposure to issues and the need for further review.
- Obtain background and historical information about the facility from a building engineer, property manager, maintenance staff, or other knowledgeable source. The preferred methodology is to have the client representative or building occupant complete a Pre-Survey Questionnaire (PSQ) in advance of the site visit. Common alternatives include a verbal interview just prior to or during the walk-through portion of the assessment.
- Review maintenance records and procedures with the in-place maintenance personnel.
- Observe a representative sample of the interior spaces/units, including vacant spaces/units, to gain a clear understanding of the property's overall condition. Other areas to be observed include the exterior of the property, the roofs, interior common areas, and the significant mechanical, electrical and elevator equipment rooms.
- Provide recommendations for additional studies, if required, with related budgetary information.
- Provide an Executive Summary at the beginning of this report, which highlights key findings and includes a Facility Condition Index as a basis for comparing the relative conditions of the buildings within the portfolio.

6. Opinions of Probable Costs

Cost estimates are embedded throughout this report, including the detailed Replacement Reserves report in the appendix. The cost estimates are predominantly based on construction rehabilitation costs developed by the *RSMeans data from Gordian*. While the *RSMeans data from Gordian* is the primary reference source for the Bureau Veritas cost library, secondary and supporting sources include but are not limited to other industry experts work, such as *Marshall & Swift* and *CBRE Whitestone*. For improved accuracy, additional research integrated with Bureau Veritas's historical experience with past costs for similar properties, city cost indexes, and assumptions regarding future economic conditions also come into play when deemed necessary. Invoice or bid documents provided either by the owner or facility construction resources may be reviewed early in the process or for specific projects as warranted.

Opinions of probable costs should only be construed as preliminary, order of magnitude budgets. Actual costs most probably will vary from the consultant's opinions of probable costs depending on such matters as type and design of suggested remedy, quality of materials and installation, manufacturer and type of equipment or system selected, field conditions, whether a physical deficiency is repaired or replaced in whole, phasing or bundling of the work (if applicable), quality of contractor, quality of project management exercised, market conditions, use of subcontractors, and whether competitive pricing is solicited, etc. Certain opinions of probable costs cannot be developed within the scope of this guide without further study. Opinions of probable cost for further study should be included in the FCA.

Methodology

Based upon site observations, research, and judgment, along with referencing Expected Useful Life (EUL) tables from various industry sources, Bureau Veritas opines as to when a system or component will most probably necessitate replacement. Accurate historical replacement records, if provided, are typically the best source of information. Exposure to the elements, initial quality and installation, extent of use, the quality and amount of preventive maintenance exercised, etc., are all factors that impact the effective age of a system or component. As a result, a system or component may have an effective age that is greater or less than its actual chronological age. The Remaining Useful Life (RUL) of a component or system equals the EUL less its *effective age*, whether explicitly or implicitly stated. Projections of Remaining Useful Life (RUL) are based primarily on age and condition with the presumption of continued use and maintenance of the Property similar to the observed and reported past use and maintenance practices, in conjunction with the professional judgment of Bureau Veritas's assessors. Significant changes in occupants and/or usage may affect the service life of some systems or components.

Where quantities could not be or were not derived from an actual construction document take-off or facility walk-through, and/or where systemic costs are more applicable or provide more intrinsic value, budgetary square foot and gross square foot costs are used. Estimated costs are based on professional judgment and the probable or actual extent of the observed defect, inclusive of the cost to design, procure, construct and manage the corrections.

To account for differences in prices between locations, the base costs are modified by geographical location factors to adjust for market conditions, transportation costs, or other local contributors. When requested by the client, the costs may be further adjusted by several additional factors including; labor rates (prevailing minimum wage), general contractor fees for profit and overhead, and insurance. If desired, costs for design and permits, and a contingency factor, may also be included in the calculations.

Definitions

Immediate Needs

Immediate Needs are line items that require immediate action as a result of: (1) material existing or potential unsafe conditions, (2) failed or imminent failure of mission critical building systems or components, or (3) conditions that, if not addressed, have the potential to result in, or contribute to, critical element or system failure within one year or will most probably result in a significant escalation of its remedial cost.

For database and reporting purposes the line items with RUL=0, and commonly associated with *Safety* or *Performance/Integrity* Plan Types, are considered Immediate Needs.

Replacement Reserves

Cost line items traditionally called Replacement Reserves (equivalently referred to as Lifecycle/Renewals) are for recurring probable renewals or expenditures, which are not classified as operation or maintenance expenses. The replacement reserves should be budgeted for in advance on an annual basis. Replacement Reserves are reasonably predictable both in terms of frequency and cost. However, Replacement Reserves may also include components or systems that have an indeterminable life but, nonetheless, have a potential for failure within an estimated time period.

Replacement Reserves generally exclude systems or components that are estimated to expire after the reserve term and are not considered material to the structural and mechanical integrity of the subject property. Furthermore, systems and components that are not deemed to have a material effect on the use of the Property are also excluded. Costs that are caused by acts of God, accidents, or other occurrences that are typically covered by insurance, rather than reserved for, are also excluded.

Replacement costs are solicited from ownership/property management, Bureau Veritas's discussions with service companies, manufacturers' representatives, and previous experience in preparing such schedules for other similar facilities. Costs for work performed by the ownership's or property management's maintenance staff are also considered.

Bureau Veritas's reserve methodology involves identification and quantification of those systems or components requiring capital reserve funds within the assessment period. The assessment period is defined as the effective age plus the reserve term. Additional information concerning system or component replacement costs (in today's dollars), typical expected useful lives, and remaining useful lives were estimated so that a funding schedule could be prepared. The Replacement Reserves Schedule presupposes that all required remedial work has been performed or that monies for remediation have been budgeted for items defined as Immediate Needs.

For the purposes of 'bucketizing' the System Expenditure Forecasts in this report, the Replacement Reserves have been subdivided and grouped as follows: Short Term (years 1-3), Near Term (years 4-5), Medium Term (years 6-10), and Long Term (years 11-20).

Key Findings

In an effort to highlight the most significant cost items and not be overwhelmed by the Replacement Reserves report in its totality, a subsection of Key Findings is included within the Executive Summary section of this report. Key Findings typically include repairs or replacements of deficient items within the first five-year window, as well as the most significant high-dollar line items that fall anywhere within the ten-year term. Note that while there is some subjectivity associated with identifying the Key Findings, the Immediate Needs are always included as a subset.

7. Certification

Montgomery County Public Schools (the Client) retained Bureau Veritas to perform this Facility Condition Assessment in connection with its continued operation of Georgian Forest Elementary School, 3100 Regina Drive, Silver Spring, MD 20906, the "Property". It is our understanding that the primary interest of the Client is to locate and evaluate materials and building system defects that might significantly affect the value of the property and to determine if the present Property has conditions that will have a significant impact on its continued operations.

The conclusions and recommendations presented in this report are based on the brief review of the plans and records made available to our Project Manager during the site visit, interviews with available property management personnel and maintenance contractors familiar with the Property, appropriate inquiry of municipal authorities, our Project Manager's walk-through observations during the site visit, and our experience with similar properties.

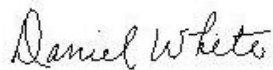
No testing, exploratory probing, dismantling or operating of equipment or in-depth studies were performed unless specifically required under the *Purpose and Scope* section of this report. This assessment did not include engineering calculations to determine the adequacy of the Property's original design or existing systems. Although walk-through observations were performed, not all areas may have been observed (see Section 1 for specific details). There may be defects in the Property, which were in areas not observed or readily accessible, may not have been visible, or were not disclosed by management personnel when questioned. The report describes property conditions at the time that the observations and research were conducted.

This report has been prepared for and is exclusively for the use and benefit of the Client identified on the cover page of this report. The purpose for which this report shall be used shall be limited to the use as stated in the contract between the client and Bureau Veritas.

This report, or any of the information contained therein, is not for the use or benefit of, nor may it be relied upon by any other person or entity, for any purpose without the advance written consent of Bureau Veritas. Any reuse or distribution without such consent shall be at the client's or recipient's sole risk, without liability to Bureau Veritas.

Prepared by: Tyler Murphy
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8. Appendices

- Appendix A: Photographic Record
- Appendix B: Site Plan(s)
- Appendix C: Pre-Survey Questionnaire(s)
- Appendix D: Accessibility Review and Photos
- Appendix E: Component Condition Report
- Appendix F: Replacement Reserves
- Appendix G: Equipment Inventory List

Appendix A: Photographic Record

Photographic Overview



1 - FRONT ELEVATION



2 - LEFT ELEVATION



3 - RIGHT ELEVATION



4 - REAR ELEVATION



5 – BUILT-UP ROOFING



6 – MODIFIED AND METAL ROOFING

Photographic Overview



7 – WATER HEATER



8 - BOILER



9 - BOILER



10 - HEAT EXCHANGER



11 - CHILLER



12 - UNIT VENTILATOR

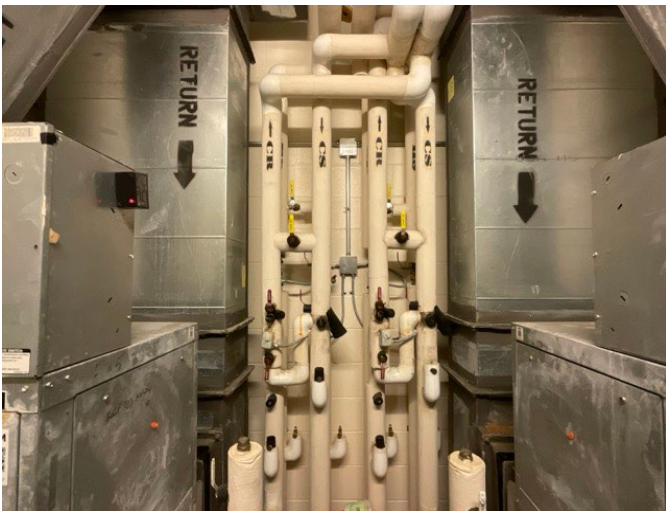
Photographic Overview



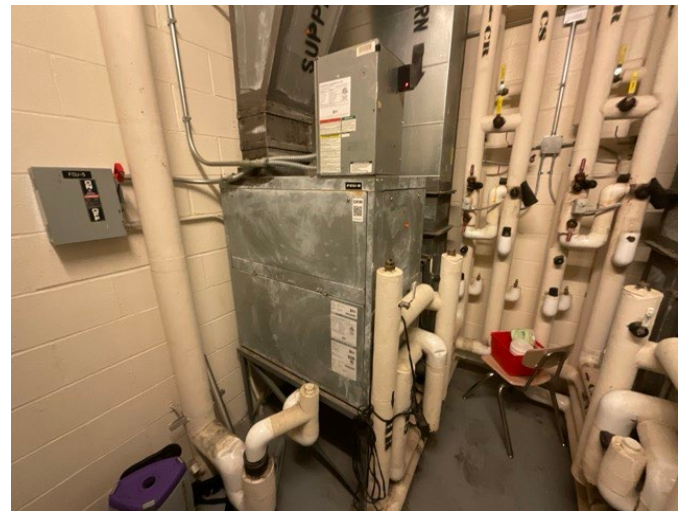
13 - SPLIT SYSTEM CONDENSER



14 - SPLIT SYSTEM DUCTLESS



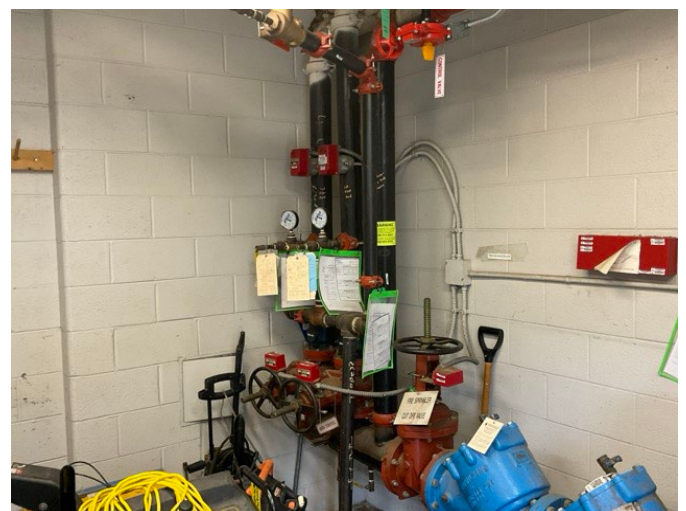
15 - HVAC SYSTEM PIPING



16 - FAN COIL UNIT



17 - AIR HANDLER



18 - FIRE RISER

Photographic Overview



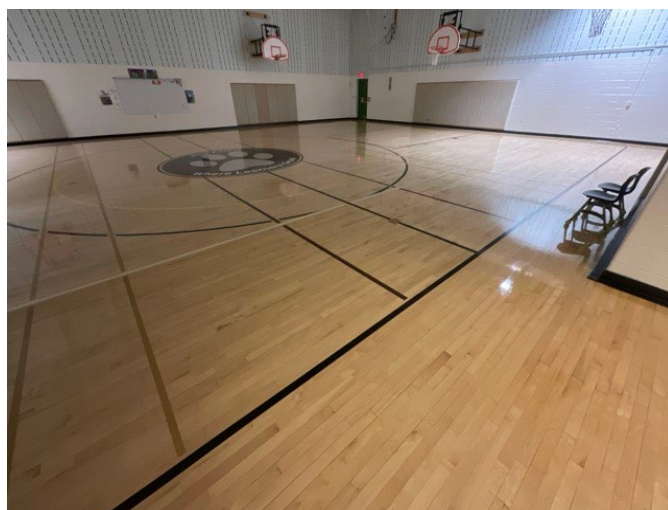
19 - GENERATOR



20 - SWITCHBOARD



21 - FIRE ALARM PANEL



22 - GYM FLOORING



23 - CONFERENCE ROOM

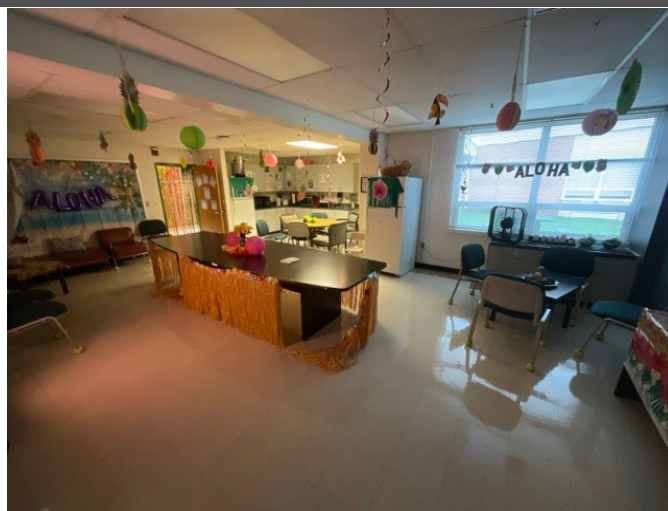


24 - CAFETERIA

Photographic Overview



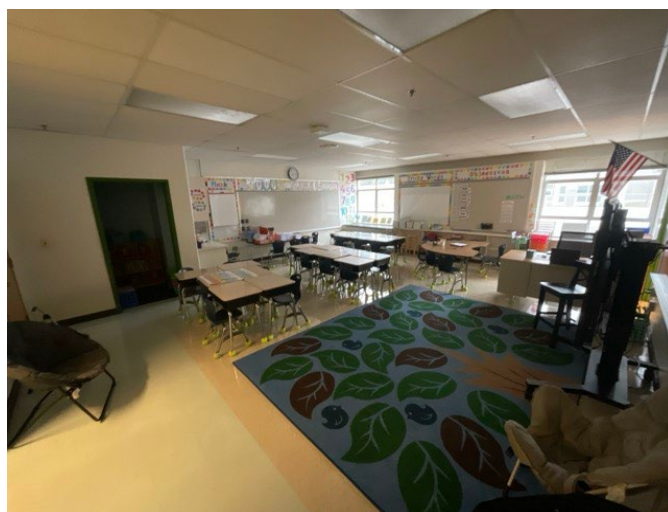
25 - MEDIA CENTER



26 - FACULTY LOUNGE



27 - TYPICAL CLASSROOM



28 - TYPICAL CLASSROOM



29 - ART CLASSROOM



30 - MUSIC CLASSROOM

Photographic Overview



31 - TYPICAL HALLWAY



32 - GREEN ROOF



33 - ATHLETIC SURFACES AND COURTS



34 - ATHLETIC SURFACES AND COURTS



35 - PLAYGROUND SURFACES



36 - COURTYARD

Appendix B:

Site Plan(s)

Site Plan



BUREAU
VERITAS

Project Number

172559.25R000-051.354

Source

Google

Project Name

Georgian Forest Elementary School

On-Site Date

August 21, 2025



Appendix C:

Pre-Survey Questionnaire(s)

BV FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

Building / Facility Name: Georgian Forest Elementary School

Name of person completing form: Edgar Ayala

Title / Association w/ property: Facility Manager

Length of time associated w/ property: 3 Years

Date Completed: 8/21/2025

Phone Number: _____

Method of Completion: INTERVIEW - verbally completed during interview

Directions: Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses.

Data Overview		Response		
1	Year(s) constructed	Constructed 1961	Renovated 2010	
2	Building size in SF	SF		
3	Major Renovation/Rehabilitation		Year	Additional Detail
		Facade		
		Roof		Patched
		Interiors		
		HVAC		ERU on roof has some leaking issues. It is not used often and is supplemented by other chillers.
		Electrical		
		Site Pavement		
		Accessibility		
4	List other significant capital improvements (focus on recent years; provide approximate date).	NA		
5	List any major capital expenditures planned/requested for the next few years. Have they been budgeted?	NA		
6	Describe any on-going extremely problematic, historically chronic, or immediate facility needs.	NA		

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses. (**NA** indicates "Not Applicable", **Unk** indicates "Unknown")

Question		Response				Comments
		Yes	No	Unk	NA	
7	Are there any problems with foundations or structures, like excessive settlement?		✗			
8	Are there any wall, window, basement or roof leaks?		✗			
9	Has any part of the facility ever contained visible suspect mold growth, or have there been any indoor air quality complaints?		✗			
10	Are your elevators unreliable, with frequent service calls?		✗			
11	Are there any plumbing leaks, water pressure, or clogging/backup issues?		✗			
12	Have there been any leaks or pressure problems with natural gas, HVAC piping, or steam service?		✗			Gas monitor just replaced
13	Are any areas of the facility inadequately heated, cooled or ventilated? Poorly insulated areas?		✗			
14	Is the electrical service outdated, undersized, or problematic?		✗			
15	Are there any problems or inadequacies with exterior lighting?		✗			
16	Is site/parking drainage inadequate, with excessive ponding or other problems?		✗			
17	Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above?		✗			
18	ADA: Has an accessibility study been previously performed? If so, when?			✗		
19	ADA: Have any ADA improvements been made to the property since original construction? Describe.			✗		
20	ADA: Has building management reported any accessibility-based complaints or litigation?			✗		
21	Are any areas of the property leased to outside occupants?	✗				Weekend and summer program



Signature of Assessor



Signature of POC

Appendix D:

Accessibility Review and Photos

Visual Checklist - 2010 ADA Standards for Accessible Design

Property Name: Georgian Forest Elementary School

BV Project Number: 172559.25R000-051.354

Abbreviated Accessibility Checklist					
Facility History & Interview					
Question		Yes	No	Unk	Comments
1	Has an accessibility study been previously performed? If so, when?			✗	
2	Have any ADA improvements been made to the property since original construction? Describe.	✗			
3	Has building management reported any accessibility-based complaints or litigation?		✗		

Abbreviated Accessibility Checklist

Parking



OVERVIEW OF ACCESSIBLE PARKING AREA



2ND AREA OF ACCESSIBLE PARKING

Question		Yes	No	NA	Comments
1	Does the required number of standard ADA designated spaces appear to be provided ?	✗			
2	Does the required number of van-accessible designated spaces appear to be provided ?	✗			
3	Are accessible spaces on the shortest accessible route to an accessible building entrance ?	✗			
4	Does parking signage include the International Symbol of Accessibility ?	✗			
5	Does each accessible space have an adjacent access aisle ?	✗			
6	Do parking spaces and access aisles appear to be relatively level and without obstruction ?	✗			

Abbreviated Accessibility Checklist

Exterior Accessible Route



ACCESSIBLE RAMP



CURB CUT

Question		Yes	No	NA	Comments
1	Is an accessible route present from public transportation stops and municipal sidewalks on or immediately adjacent to the property ?	✗			
2	Does a minimum of one accessible route appear to connect all public areas on the exterior, such as parking and other outdoor amenities, to accessible building entrances ?	✗			
3	Are curb ramps present at transitions through raised curbs on all accessible routes?	✗			
4	Do curb ramps appear to have compliant slopes for all components ?	✗			
5	Do ramp runs on an accessible route appear to have compliant slopes ?	✗			
6	Do ramp runs on an accessible route appear to have a compliant rise and width ?	✗			

7	Do ramps on an accessible route appear to have compliant end and intermediate landings ?	✕			
8	Do ramps and stairs on an accessible route appear to have compliant handrails?	✕			
9	For stairways that are open underneath, are permanent barriers present that prevent or discourage access?			✕	

Abbreviated Accessibility Checklist

Building Entrances



MAIN ENTRANCE



ACCESSIBLE ENTRANCE

Question		Yes	No	NA	Comments
1	Do a sufficient number of accessible entrances appear to be provided ?	✗			
2	If the main entrance is not accessible, is an alternate accessible entrance provided?	✗			
3	Is signage provided indicating the location of alternate accessible entrances ?	✗			
4	Do doors at accessible entrances appear to have compliant maneuvering clearance area on each side ?	✗			
5	Do doors at accessible entrances appear to have compliant hardware ?	✗			
6	Do doors at accessible entrances appear to have a compliant clear opening width ?	✗			

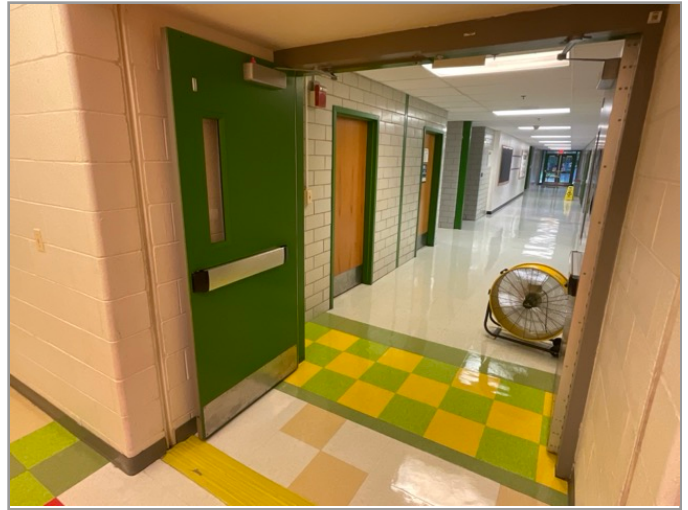
7	Do pairs of accessible entrance doors in series appear to have the minimum clear space between them ?	X			
8	Do thresholds at accessible entrances appear to have a compliant height ?	X			

Abbreviated Accessibility Checklist

Interior Accessible Route



ACCESSIBLE INTERIOR RAMP



DOOR HARDWARE

Question		Yes	No	NA	Comments
1	Does an accessible route appear to connect all public areas inside the building ?	✗			
2	Do accessible routes appear free of obstructions and/or protruding objects ?	✗			
3	Do ramps on accessible routes appear to have compliant slopes ?	✗			
4	Do ramp runs on an accessible route appear to have a compliant rise and width ?	✗			
5	Do ramps on accessible routes appear to have compliant end and intermediate landings ?	✗			
6	Do ramps on accessible routes appear to have compliant handrails ?	✗			

7	Are accessible areas of refuge and the accessible means of egress to those areas identified with accessible signage ?	✕			
8	Do public transaction areas have an accessible, lowered service counter section ?	✕			
9	Do public telephones appear mounted with an accessible height and location ?			✕	
10	Do doors at interior accessible routes appear to have compliant maneuvering clearance area on each side ?	✕			
11	Do doors at interior accessible routes appear to have compliant hardware ?	✕			
12	Do non-fire hinged, sliding, or folding doors on interior accessible routes appear to have compliant opening force ?	✕			
13	Do doors on interior accessible routes appear to have a compliant clear opening width ?	✕			

Abbreviated Accessibility Checklist

Elevators



LOBBY LOOKING AT CABS



IN-CAB CONTROLS

Question		Yes	No	NA	Comments
1	Are hallway call buttons configured with the "UP" button above the "DOWN" button?	✗			
2	Is accessible floor identification signage present on the hoistway sidewalls on each level ?	✗			
3	Do the elevators have audible and visual arrival indicators at the lobby and hallway entrances?	✗			
4	Do the elevator hoistway and car interior appear to have a minimum compliant clear floor area ?	✗			
5	Do the elevator car doors have automatic re-opening devices to prevent closure on obstructions?	✗			
6	Do elevator car control buttons appear to be mounted at a compliant height ?	✗			

7	Are tactile and Braille characters mounted to the left of each elevator car control button ?	✕			
8	Are audible and visual floor position indicators provided in the elevator car?	✕			
9	Is the emergency call system on or adjacent to the control panel and does it not require voice communication ?	✕			

Abbreviated Accessibility Checklist

Public Restrooms



TOILET STALL OVERVIEW



SINK, FAUCET HANDLES AND ACCESSORIES

Question		Yes	No	NA	Comments
1	Do publicly accessible toilet rooms appear to have a minimum compliant floor area ?	✗			
2	Does the lavatory appear to be mounted at a compliant height and with compliant knee area ?	✗			
3	Does the lavatory faucet have compliant handles ?	✗			
4	Is the plumbing piping under lavatories configured to protect against contact ?	✗			
5	Are grab bars provided at compliant locations around the toilet ?	✗			
6	Do toilet stall doors appear to provide the minimum compliant clear width ?	✗			

7	Do toilet stalls appear to provide the minimum compliant clear floor area ?	X			
8	Where more than one urinal is present in a multi-user restroom, does minimum one urinal appear to be mounted at a compliant height and with compliant approach width ?	X			
9	Do accessories and mirrors appear to be mounted at a compliant height ?	X			

Abbreviated Accessibility Checklist

Playgrounds & Swimming Pools



ACCESSIBLE ROUTE TO PLAYGROUND



OVERVIEW OF PLAYGROUND

Question		Yes	No	NA	Comments
1	Is there an accessible route to the play area / s?	✗			
2	Has the play area been reviewed for accessibility ?			✗	
3	Are publicly accessible swimming pools equipped with an entrance lift ?			✗	

Appendix E:

Component Condition Report

Component Condition Report | Georgian Forest Elementary School

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Structure						
A4010	Substructure	Fair	Foundation, Concrete Slab-on-Grade	62,410 SF	30	9747775
HVAC						
D3050	Roof	Poor	HVAC System, any type, Repairs per Man-Day, Repair	1	0	9749704

Component Condition Report | Georgian Forest Elementary School / Main Building

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Structure						
B1010	Superstructure	Good	Structural Framing, Steel Columns & Beams, 1-2 Story Building, 1-2 Story Building	25,701 SF	61	9731495
B1010	Building Exterior	Fair	Structural Framing, Masonry (CMU) Bearing Walls, Maintain	62,410 SF	40	9747774
Facade						
B2010	Building Exterior	Fair	Exterior Walls, Brick/Masonry/Stone, Clean & Seal, Maintain	14,000 SF	6	9731507
B2010	Building Exterior	Good	Exterior Walls, Metal/Insulated Sandwich Panels	2,400 SF	30	9731528
B2020	Building Exterior	Fair	Glazing, any type by SF	5,900 SF	15	9731579
B2050	Building Exterior	Fair	Exterior Door, Steel, Commercial	34	22	9731491
B2050	Building Exterior	Fair	Exterior Door, Aluminum-Framed & Glazed, Standard Swing	12	17	9731543
Roofing						
B3010	Roof	Fair	Roofing, Modified Bitumen	53,800 SF	12	9731535
B3010	Gym Roof	Good	Roofing, Metal	4,600 SF	32	9731510
B3010		Fair	Roofing, Green w/ Modified bituminous membrane	18,100 SF	8	9731626
B3010	Roof	Poor	Roofing, Modified Bitumen	200 SF	1	9731671
B3080	Building Exterior	Fair	Soffit/Fascia, Metal	1,700 SF	7	9731530
Interiors						
C1030	Throughout Building	Good	Interior Door, Wood, Solid-Core	148	25	9731502

Component Condition Report | Georgian Forest Elementary School / Main Building

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
C1030	Throughout Building	Good	Interior Door, Steel, Standard	15	25	9731657
C1070	Throughout Building	Good	Suspended Ceilings, Acoustical Tile (ACT)	57,800 SF	18	9731608
C1090	Restrooms	Fair	Toilet Partitions, Plastic/Laminate	37	10	9731619
C2010	Throughout Building	Fair	Wall Finishes, any surface, Prep & Paint	105,800 SF	6	9731600
C2010	Elevator Shafts/Utility	Fair	Wall Finishes, Ceramic Tile	7,100 SF	22	9731573
C2010	Restrooms	Fair	Wall Finishes, Ceramic Tile	28,200 SF	8	9731564
C2030	Gymnasium	Good	Flooring, Maple Sports Floor, Refinish	6,000 SF	8	9731650
C2030	Restrooms	Fair	Flooring, Ceramic Tile	13,200 SF	6	9731554
C2030	Kitchen	Fair	Flooring, Quarry Tile	4,400 SF	8	9731622
C2030	Office Areas	Poor	Flooring, Carpet, Commercial Standard	8,800 SF	2	9731503
C2030	Throughout Building	Fair	Flooring, Vinyl Tile (VCT)	55,700 SF	10	9731546
C2050	Cafeteria	Fair	Ceiling Finishes, Wood Paneling	5,600 SF	14	9731666
C2050	Throughout Building	Fair	Ceiling Finishes, any flat surface, Prep & Paint	7,100 SF	4	9731612
Conveying						
D1010	Elevator Shafts/Utility	Fair	Elevator Cab Finishes, Standard	1	6	9731642
D1010	Elevator Shafts/Utility	Good	Passenger Elevator, Hydraulic, 2 Floors, Renovate	1	24	9731570
Plumbing						
D2010	Restrooms	Good	Sink/Lavatory, Wall-Hung, Enameled Steel	37	18	9731487
D2010	Boiler Room in Rear of School	Fair	Backflow Preventer, Domestic Water	1	9	9731628
D2010	Restrooms	Good	Toilet, Commercial Water Closet	37	18	9731552
D2010	Outside from Gymnasium	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	2	10	9731542
D2010	Hallways & Common Areas	Fair	Drinking Fountain, Wall-Mounted, Single-Level	1	9	9731590
D2010	Classrooms General	Fair	Sink/Lavatory, Drop-In Style, Stainless Steel	5	15	9731563
D2010	Boiler Room in Front of School	Good	Water Heater, Gas, Commercial (125 MBH)	1	18	9731598
D2010	Restrooms	Good	Urinal, Standard	8	18	9731526

Component Condition Report | Georgian Forest Elementary School / Main Building

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Throughout Building	Good	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	88,111 SF	30	9731513
D2060	Boiler Room in Front of School	Fair	Air Compressor, Tank-Style	1	4	9731539
D2060	Boiler Room in Front of School	Fair	Supplemental Components, Compressed Air Dryer, Process Support	1	8	9731494
HVAC						
D3020	Storage room near Gymnasium	Fair	Unit Heater, Hydronic	6	8	9731553
D3020	Boiler Room in Rear of School	Fair	Boiler Supplemental Components, Shot Feed Tank	1	3	9731636
D3020	Boiler Room in Front of School	Fair	Boiler, Gas, HVAC	1	2	9731557
D3020	Boiler Room in Rear of School	Good	Boiler Supplemental Components, Expansion Tank	1	27	9731512
D3020	Boiler Room in Front of School	Fair	Boiler Supplemental Components, Expansion Tank	1	8	9731493
D3020	Boiler Room in Front of School	Fair	Boiler, Gas, HVAC	1	2	9731541
D3020	Boiler Room in Rear of School	Fair	Heat Exchanger, Plate & Frame, HVAC	1	20	9731488
D3020	Boiler Room in Rear of School	Fair	Boiler, Gas, HVAC	1	15	9731617
D3020	Boiler Room in Rear of School	Good	Boiler Supplemental Components, Expansion Tank	1	27	9731618
D3020	Boiler Room in Rear of School	Fair	Boiler, Gas, HVAC	1	15	9731578
D3020	Boiler Room in Front of School	Fair	Boiler Supplemental Components, Expansion Tank	1	8	9731571
D3030	Classrooms General	Fair	Unit Ventilator, approx/nominal 3 Ton	26	8	9731637
D3030	Building Exterior	Good	Chiller, Air-Cooled, 101 to 150 TON	1	19	9731551
D3030	Roof	Good	Split System Ductless, Single Zone	1	14	9731653
D3030	Roof	Poor	Split System, Condensing Unit/Heat Pump	1	2	9731490
D3030	Roof	Fair	Split System Ductless, Single Zone	1	4	9731544
D3030	Building Exterior	Fair	Split System Ductless, Single Zone	1	7	9731647
D3030	Roof	Fair	Split System, Condensing Unit/Heat Pump	1	4	9731574
D3030	Roof	Poor	Split System, Condensing Unit/Heat Pump, 5 TON	1	0	9731673
D3030	Roof	Fair	Split System, Condensing Unit/Heat Pump	1	6	9731511
D3030	Building Exterior	Fair	Chiller, Air-Cooled	1	12	9731587

Component Condition Report | Georgian Forest Elementary School / Main Building

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D3050	Boiler Room in Rear of School	Fair	Fan Coil Unit, Hydronic Terminal	1	7	9731517
D3050	Roof	Fair	Packaged Unit, RTU, Pad or Roof-Mounted	1	7	9731655
D3050	210	Fair	Fan Coil Unit, Hydronic Terminal	1	7	9731518
D3050	Throughout Building	Fair	HVAC System, Ductwork, Medium Density	88,111 SF	17	9731523
D3050	224	Fair	Fan Coil Unit, Hydronic Terminal	1	7	9731545
D3050	215	Fair	Fan Coil Unit, Hydronic Terminal	1	7	9731555
D3050	Rear Boiler Room	Fair	Fan Coil Unit, Hydronic Terminal	1	7	9731508
D3050	Boiler Room in Rear of School	Fair	Pump, Distribution, HVAC Heating Water	1	12	9731603
D3050	226	Fair	Fan Coil Unit, Hydronic Terminal	1	7	9731585
D3050	Boiler Room in Rear of School	Good	Pump, Distribution, HVAC Chilled or Condenser Water	1	20	9731668
D3050	Boiler Room in Rear of School	Good	Pump, Distribution, HVAC Chilled or Condenser Water	1	250	9731656
D3050	125	Fair	Fan Coil Unit, Hydronic Terminal	1	7	9731567
D3050	Boiler Room in Front of School	Fair	Pump, Distribution, HVAC Chilled or Condenser Water	1	5	9731593
D3050	233	Fair	Fan Coil Unit, Hydronic Terminal	1	6	9731560
D3050	Boiler Room in Front of School	Fair	Pump, Distribution, HVAC Chilled or Condenser Water	1	4	9731660
D3050	Throughout Building	Good	HVAC System, Hydronic Piping, 4-Pipe	88,111 SF	25	9731540
D3050	233	Fair	Fan Coil Unit, Hydronic Terminal	1	7	9731645
D3050	Boiler Room in Rear of School	Fair	Fan Coil Unit, Hydronic Terminal	1	7	9731597
D3050	Storage Room near Main Office	Fair	Air Handler, Interior AHU, Integral to Building or Difficult Access, 4000 to 6000 CFM	1	8	9731605
D3050	215	Fair	Fan Coil Unit, Hydronic Terminal	1	6	9731536
D3050	210	Fair	Fan Coil Unit, Hydronic Terminal	1	6	9731654
D3050	Mechanical Room Near Cafeteria	Fair	Air Handler, Interior AHU, Easy/Moderate Access	1	3	9731607
D3050	221	Fair	Fan Coil Unit, Hydronic Terminal	1	7	9731584
D3050	212	Fair	Fan Coil Unit, Hydronic Terminal	1	7	9731638
D3050	Mechanical Closet Near Art Room	Fair	Air Handler, Interior AHU, Easy/Moderate Access	1	3	9731524

Component Condition Report | Georgian Forest Elementary School / Main Building

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D3050	230	Fair	Fan Coil Unit, Hydronic Terminal	1	7	9731662
D3050	105	Fair	Air Handler, Interior AHU, Easy/Moderate Access	1	3	9731633
D3050	125	Fair	Fan Coil Unit, Hydronic Terminal	1	7	9731615
D3050	212	Fair	Fan Coil Unit, Hydronic Terminal	1	7	9731504
D3050	Boiler Room in Rear of School	Fair	Pump, Distribution, HVAC Heating Water	1	12	9731581
D3050	221	Fair	Fan Coil Unit, Hydronic Terminal	1	7	9731659
D3050	230	Fair	Fan Coil Unit, Hydronic Terminal	1	7	9731525
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	8	9731537
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 16" Damper	1	8	9731515
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	3	9731572
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 12" Damper	1	3	9731632
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 16" Damper	1	3	9731569
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	6	9731549
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	3	9731644
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	8	9731631
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	3	9731534
D3060	Roof	Poor	Exhaust Fan, Roof or Wall-Mounted, 16" Damper	1	2	9731498
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 24" Damper	1	3	9731531
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	3	9731568
D3060	Roof	Poor	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	2	9731559
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	3	9731639
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 16" Damper	1	8	9731601
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	3	9731506
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	3	9731580
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	3	9731661

Component Condition Report | Georgian Forest Elementary School / Main Building

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	3	9731651
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	3	9731648
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	11	9731550
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	8	9731520
D3060	Roof	Poor	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	1	9731625
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 16" Damper	1	3	9731527
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	6	9731558
D3060	Roof	Poor	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	2	9731616
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	3	9731634
D3060	Roof	Fair	Air Handler, Outside Air Intake Energy Recovery Unit (ERU)	1	7	9731667
D3060	Roof	Poor	Exhaust Fan, Centrifugal, 12" Damper	1	2	9731561
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 16" Damper	1	3	9731614
D3060	Roof	Poor	Exhaust Fan, Roof or Wall-Mounted, 16" Damper	1	2	9731613
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 16" Damper	1	3	9731640
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	3	9731602
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	3	9731591
D3060	Roof	Poor	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	2	9731594
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 16" Damper	1	3	9731669
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 16" Damper	1	3	9731604
D3060	Roof	Poor	Exhaust Fan, Roof or Wall-Mounted, 24" Damper	1	2	9731529
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 12" Damper	1	3	9731649
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	3	9731652
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	3	9731611
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 16" Damper	1	3	9731629
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	3	9731505

Component Condition Report | Georgian Forest Elementary School / Main Building

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	3	9731576
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	3	9731624
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	3	9731565
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	3	9731620
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	3	9731646
D3060	Roof	Poor	Exhaust Fan, Roof or Wall-Mounted, 10" Damper	1	2	9731547
Fire Protection						
D4010	Sprinkler Room	Fair	Backflow Preventer, Fire Suppression	1	12	9731609
D4010	Throughout Building	Fair	Fire Suppression System, Existing Sprinkler Heads, by SF	88,111 SF	9	9731575
D4010	Sprinkler Room	Good	Supplemental Components, Fire Riser, Wet	1	27	9731514
Electrical						
D5010	Building Exterior	Poor	Generator, Gas or Gasoline	1	2	9731627
D5010	Boiler Room in Rear of School	Fair	Automatic Transfer Switch, ATS	1	12	9731592
D5010	Boiler Room in Rear of School	Fair	Automatic Transfer Switch, ATS	1	12	9731674
D5020	Building Exterior	Fair	Supplemental Components, Circuit Breaker/Disconnect	1	3	9731595
D5020	Boiler Room in Rear of School	Fair	Secondary Transformer, Dry, Stepdown	1	10	9731635
D5020	Elevator Shafts/Utility	Fair	Secondary Transformer, Dry, Stepdown	1	10	9731641
D5020	Fire Control Room	Fair	Secondary Transformer, Dry, Stepdown	1	10	9731521
D5020	Fire Control Room	Fair	Secondary Transformer, Dry, Stepdown	1	17	9731665
D5020	Main Electrical Shutoff Room	Good	Secondary Transformer, Dry, Stepdown	1	29	9731672
D5020	Fire Control Room	Fair	Secondary Transformer, Dry, Stepdown	1	10	9731589
D5020	226	Fair	Secondary Transformer, Dry, Stepdown	1	10	9731499
D5020	Boiler Room in Rear of School	Fair	Secondary Transformer, Dry, Stepdown	1	10	9731643
D5020	Main Electrical Shutoff Room	Fair	Distribution Panel, 120/208 V	1	4	9731516
D5020	Main Electrical Shutoff Room	Fair	Switchboard, 277/480 V	1	18	9731501

Component Condition Report | Georgian Forest Elementary School / Main Building

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D5020	Boiler Room in Rear of School	Fair	Distribution Panel, 277/480 V	1	17	9731623
D5020	Boiler Room in Rear of School	Fair	Secondary Transformer, Dry, Stepdown	1	10	9731489
D5030	Throughout Building	Good	Electrical System, Wiring & Switches, Average or Low Density/Complexity	88,111 SF	26	9731500
D5030	Boiler Room in Rear of School	Fair	Variable Frequency Drive, VFD, by HP of Motor, Replace/Install	1	7	9731486
D5030	Boiler Room in Rear of School	Fair	Variable Frequency Drive, VFD, by HP of Motor, Replace/Install	1	7	9731599
D5040	Throughout Building	Good	Interior Lighting System, Full Upgrade, High Density & Standard Fixtures	88,111 SF	13	9731588
D5040	Throughout Building	Fair	Emergency & Exit Lighting System, Full Interior Upgrade, LED	58,000 SF	2	9731566
D5040	Building Exterior	Good	Exterior Light, any type, w/ LED Replacement	8	15	9731522
Fire Alarm & Electronic Systems						
D6060	Throughout Building	Fair	Intercom/PA System, Public Address Upgrade, Facility-Wide	88,111 SF	12	9731538
D7030	Throughout Building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	88,111 SF	8	9731630
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	88,111 SF	7	9731497
D7050	Main Electrical Shutoff Room	Fair	Fire Alarm Panel, Fully Addressable	1	9	9731583
Equipment & Furnishings						
E1030	Kitchen	Poor	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels	1	1	9731586
E1030	Kitchen	Fair	Foodservice Equipment, Convection Oven, Single	1	4	9731532
E1030	Kitchen	Poor	Foodservice Equipment, Food Warmer, Tabletop Drawers (Set of 4)	1	1	9731621
E1030	Kitchen	Fair	Foodservice Equipment, Walk-In, Freezer	1	4	9731658
E1030	Kitchen	Fair	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels	1	6	9731548
E1030	Kitchen	Poor	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels	1	1	9731610
E1030	Kitchen	Fair	Foodservice Equipment, Walk-In, Refrigerator	1	4	9731582
E1030	Kitchen	Fair	Foodservice Equipment, Walk-In, Evaporator for Refrigerator/Freezer	1	3	9731496
E1030	Kitchen	Fair	Foodservice Equipment, Dairy Cooler/Wells	1	6	9731562
E1030	Kitchen	Fair	Foodservice Equipment, Convection Oven, Single	1	4	9731519
E1030	Kitchen	Fair	Foodservice Equipment, Walk-In, Evaporator for Refrigerator/Freezer	1	10	9731492

Component Condition Report | Georgian Forest Elementary School / Main Building

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
E1070	Gymnasium	Fair	Basketball Backboard, Wall-Mounted, Fixed, Fixed	6	12	9731533

Component Condition Report | Georgian Forest Elementary School / Site

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Pedestrian Plazas & Walkways						
G2020	Site Parking Areas	Good	Parking Lots, Curb & Gutter, Concrete	2,200 LF	34	9731707
G2020	Site Parking Areas	Fair	Parking Lots, Pavement, Asphalt, Seal & Stripe	45,000 SF	3	9731712
G2030	Site Parking Areas	Fair	Sidewalk, Concrete, Large Areas	10,200 SF	26	9731711
Athletic, Recreational & Playfield Areas						
G2050	Site Playground Areas	Fair	Playground Surfaces, Engineered Wood Fiber Chips, 3" Depth	6,000 SF	3	9731720
G2050	Site Sports Fields & Courts	Fair	Sports Apparatus, Baseball, Backstop Chain-Link	1	8	9731721
G2050	Site Playground Areas	Fair	Play Structure, Multipurpose, Small	1	8	9731706
G2050	Site Sports Fields & Courts	Fair	Sports Apparatus, Basketball, Backboard w/ Pole	4	11	9731709
G2050	Site Playground Areas	Fair	Play Structure, Multipurpose, Small	1	7	9731714
G2050	Site Sports Fields & Courts	Fair	Athletic Surfaces & Courts, Basketball/General, Asphalt Pavement, Mill & Overlay	20,000 SF	10	9731715
G2050	Site Playground Areas	Fair	Play Structure, Multipurpose, Medium	1	6	9731716
Sitework						
G2060	Site General	Fair	Park Bench, Metal Powder-Coated	4	10	9731708
G2060	Site General	Fair	Trash Receptacle, Heavy-Duty Fixed Concrete	1	15	9731722
G2060	Site General	Fair	Picnic Table, Metal Powder-Coated	3	10	9731713
G2060	Site General	Fair	Bike Rack, Fixed 1-5 Bikes	2	10	9731718
G2060	Site General	Fair	Fences & Gates, Fence, Chain Link 4'	800 LF	15	9731719
G2060	Site General	Fair	Fences & Gates, Fence, Chain Link 6'	1,700 LF	18	9731717
G4050	Site Parking Areas	Fair	Pole Light Fixture w/ Lamps, any type 20' High, w/ LED Replacement, 150 W, Replace/Install	8	12	9731710

Appendix F: Replacement Reserves

Replacement Reserves Report



9/17/2025

Location	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Total Escalated Estimate
Georgian Forest Elementary School	\$10,000	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$10,000
Georgian Forest Elementary School / Main Building	\$7,100	\$13,184	\$335,032	\$176,934	\$111,538	\$7,535	\$536,332	\$504,805	\$1,757,519	\$145,976	\$485,624	\$1,661	\$1,385,930	\$646,970	\$162,301	\$689,245	\$269,270	\$676,583	\$756,051	\$334,218	\$47,862	\$9,051,672
Georgian Forest Elementary School / Site	\$0	\$0	\$0	\$28,684	\$0	\$0	\$23,881	\$12,299	\$52,254	\$0	\$102,272	\$26,300	\$45,624	\$38,549	\$0	\$24,616	\$0	\$0	\$105,466	\$0	\$0	\$459,946
Grand Total	\$17,100	\$13,184	\$335,032	\$205,618	\$111,538	\$7,535	\$560,214	\$517,104	\$1,809,774	\$145,976	\$587,896	\$27,962	\$1,431,554	\$685,519	\$162,301	\$713,861	\$269,270	\$676,583	\$861,516	\$334,218	\$47,862	\$9,521,617

Georgian Forest Elementary School

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost*	Subtotal	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate								
D3050	Roof	9749704	HVAC System, any type, Repairs per Man-Day, Repair	0	13	0	1	EA	\$10,000.00	\$10,000	\$10,000																						\$10,000							
Totals, Unescalated											\$10,000	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$10,000			
Totals, Escalated (3.0% inflation, compounded annually)											\$10,000	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$10,000

Georgian Forest Elementary School / Main Building

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost*	Subtotal	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate
B2010	Building Exterior	9731507	Exterior Walls, Brick/Masonry/Stone, Clean & Seal, Maintain	20	14	6	14000	SF	\$1.86	\$26,040										\$26,040												\$26,040
B2020	Building Exterior	9731579	Glazing, any type by SF, Replace	30	15	15	5900	SF	\$55.00	\$324,500																				\$324,500		\$324,500
B2050	Building Exterior	9731543	Exterior Door, Aluminum-Framed & Glazed, Standard Swing, Replace	30	13	17	12	EA	\$1,300.00	\$15,600																				\$15,600		\$15,600
B3010	Roof	9731671	Roofing, Modified Bitumen, Replace	20	19	1	200	SF	\$12.50	\$2,500		\$2,500																				\$2,500
B3010	Main Building	9731626	Roofing, Green w/ Modified bituminous membrane, Replace	20	12	8	18100	SF	\$15.00	\$271,500										\$271,500												\$271,500
B3010	Roof	9731535	Roofing, Modified Bitumen, Replace	20	8	12	53800	SF	\$10.00	\$538,000																\$538,000						\$538,000
B3080	Building Exterior	9731530	Soffit/Fascia, Metal, Replace	25	18	7	1700	SF	\$5.00	\$8,500										\$8,500												\$8,500
C1070	Throughout Building	9731608	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	7	18	57800	SF	\$3.50	\$202,300																				\$202,300		\$202,300
C1090	Restrooms	9731619	Toilet Partitions, Plastic/Laminate, Replace	20	10	10	37	EA	\$750.00	\$27,750															\$27,750							\$27,750
C2010	Restrooms	9731564	Wall Finishes, Ceramic Tile, Replace	40	32	8	28200	SF	\$18.00	\$507,600										\$507,600												\$507,600
C2010	Throughout Building	9731600	Wall Finishes, any surface, Prep & Paint	10	4	6	105800	SF	\$1.50	\$158,700										\$158,700										\$158,700		\$317,400
C2030	Restrooms	9731554	Flooring, Ceramic Tile, Replace	40	34	6	13200	SF	\$18.00	\$237,600										\$237,600												\$237,600
C2030	Kitchen	9731622	Flooring, Quarry Tile, Replace	50	42	8	4400	SF	\$26.00	\$114,400										\$114,400												\$114,400
C2030	Throughout Building	9731546	Flooring, Vinyl Tile (VCT), Replace	15	5	10	55700	SF	\$5.00	\$278,500															\$278,500							\$278,500
C2030	Office Areas	9731503	Flooring, Carpet, Commercial Standard, Replace	10	8	2	8800	SF	\$7.50	\$66,000																\$66,000						\$66,000
C2030	Gymnasium	9731650	Flooring, Maple Sports Floor, Refinish	10	2	8	6000	SF	\$5.00	\$30,000										\$30,000										\$30,000		\$60,000
C2050	Cafeteria	9731666	Ceiling Finishes, Wood Paneling, Replace	30	16	14	5600	SF	\$14.00	\$78,400																	\$78,400					\$78,400
C2050	Throughout Building	9731612	Ceiling Finishes, any flat surface, Prep & Paint	10	6	4	7100	SF	\$2.00	\$14,200										\$14,200							\$14,200					\$28,400
D1010	Elevator Shafts/Utility	9731642	Elevator Cab Finishes, Standard, Replace	15	9	6	1	EA	\$9,000.00	\$9,000										\$9,000												\$9,000
D2010	Boiler Room in Front of School	9731598	Water Heater, Gas, Commercial (125 MBH), Replace	20	2	18	1	EA	\$12,400.00	\$12,400																				\$12,400		\$12,400
D2010	Boiler Room in Rear of School	9731628	Backflow Preventer, Domestic Water, Replace	30	21	9	1	EA	\$1,400.00	\$1,400														\$1,400								\$1,400
D2010	Hallways & Common Areas	9731590	Drinking Fountain, Wall-Mounted, Single-Level, Replace	15	6	9	1	EA	\$1,200.00	\$1,200														\$1,200								\$1,200
D2010	Outside from Gymnasium	9731542	Drinking Fountain, Wall-Mounted, Bi-Level, Replace	15	5	10	2	EA	\$1,500.00	\$3,000															\$3,000							\$3,000
D2010	Classrooms General	9731563	Sink/Lavatory, Drop-In Style, Stainless Steel, Replace	30	15	15	5	EA	\$1,200.00	\$6,000																				\$6,000		\$6,000
D2010	Restrooms	9731487	Sink/Lavatory, Wall-Hung, Enameled Steel, Replace	30	12	18	37	EA	\$1,700.00	\$62,900																				\$62,900		\$62,900
D2010	Restrooms	9731552	Toilet, Commercial Water Closet, Replace	30	12	18	37	EA	\$1,300.00	\$48,100																				\$48,100		\$48,100
D2010	Restrooms	9731526	Urinal, Standard, Replace	30	12	18	8	EA	\$1,100.00	\$8,800																				\$8,800		\$8,800
D2060	Boiler Room in Front of School	9731539	Air Compressor, Tank-Style, Replace	20	16	4	1	EA	\$10,600.00	\$10,600										\$10,600												\$10,600
D2060	Boiler Room in Front of School	9731494	Supplemental Components, Compressed Air Dryer, Process Support, Replace	20	12	8	1	EA	\$5,600.00	\$5,600														\$5,600								\$5,600
D3020	Boiler Room in Front of School	9731557	Boiler, Gas, HVAC, Replace	30	28	2	1	EA	\$60,400.00	\$60,400																						\$60,400
D3020	Boiler Room in Front of School	9731541	Boiler, Gas, HVAC, Replace	30	28	2	1	EA	\$60,400.00	\$60,400																						\$60,400
D3020	Boiler Room in Rear of School	9731617	Boiler, Gas, HVAC, Replace	30	15	15	1	EA	\$50,800.00	\$50,800																				\$50,800		\$50,800
D3020	Boiler Room in Rear of School	9731578	Boiler, Gas, HVAC, Replace	30	15	15	1	EA	\$50,800.00	\$50,800																				\$50,800		\$50,800
D3020	Boiler Room in Rear of School	9731488	Heat Exchanger, Plate & Frame, HVAC, Replace	35	15	20	1	EA	\$20,000.00	\$20,000																					\$20,000	\$20,000
D3020	Storage room near Gymnasium	9731553	Unit Heater, Hydronic, Replace	20	12	8	6	EA	\$2,100.00	\$12,600														\$12,600								\$12,600
D3020	Boiler Room in Rear of School	9731636	Boiler Supplemental Components, Shot Feed Tank, Replace	30	27	3	1	EA	\$1,520.00	\$1,520										\$1,520												\$1,520
D3020	Boiler Room in Front of School	9731493	Boiler Supplemental Components, Expansion Tank, Replace	40	32	8	1	EA	\$3,540.00	\$3,540															\$3,540							\$3,540
D3020	Boiler Room in Front of School	9731571	Boiler Supplemental Components, Expansion Tank, Replace	40	32	8	1	EA	\$3,540.00	\$3,540															\$3,540							\$3,540

Replacement Reserves Report



9/17/2025

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost*	Subtotal	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate
D5020	Main Electrical Shutoff Room	9731501	Switchboard, 277/480 V, Replace	40	22	18	1	EA	\$75,000.00	\$75,000																			\$75,000			\$75,000
D5020	Building Exterior	9731595	Supplemental Components, Circuit Breaker/Disconnect, Replace	30	27	3	1	EA	\$6,000.00	\$6,000				\$6,000																		\$6,000
D5020	Main Electrical Shutoff Room	9731516	Distribution Panel, 120/208 V, Replace	30	26	4	1	EA	\$6,000.00	\$6,000					\$6,000																	\$6,000
D5020	Boiler Room in Rear of School	9731623	Distribution Panel, 277/480 V, Replace	30	13	17	1	EA	\$10,000.00	\$10,000																		\$10,000				\$10,000
D5030	Boiler Room in Rear of School	9731486	Variable Frequency Drive, VFD, by HP of Motor, Replace/Install	20	13	7	1	EA	\$6,200.00	\$6,200								\$6,200														\$6,200
D5030	Boiler Room in Rear of School	9731599	Variable Frequency Drive, VFD, by HP of Motor, Replace/Install	20	13	7	1	EA	\$6,200.00	\$6,200								\$6,200														\$6,200
D5040	Throughout Building	9731566	Emergency & Exit Lighting System, Full Interior Upgrade, LED, Replace	10	8	2	58000	SF	\$0.65	\$37,700			\$37,700										\$37,700									\$75,400
D5040	Throughout Building	9731588	Interior Lighting System, Full Upgrade, High Density & Standard Fixtures, Replace	20	7	13	88111	SF	\$5.00	\$440,555														\$440,555								\$440,555
D5040	Building Exterior	9731522	Exterior Light, any type, w/ LED Replacement, Replace	20	5	15	8	EA	\$400.00	\$3,200																\$3,200						\$3,200
D6060	Throughout Building	9731538	Intercom/PA System, Public Address Upgrade, Facility-Wide, Replace	20	8	12	88111	SF	\$1.65	\$145,383													\$145,383									\$145,383
D7030	Throughout Building	9731630	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	7	8	88111	SF	\$2.00	\$176,222									\$176,222													\$176,222
D7050	Throughout Building	9731497	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	13	7	88111	SF	\$3.00	\$264,333								\$264,333														\$264,333
D7050	Main Electrical Shutoff Room	9731583	Fire Alarm Panel, Fully Addressable, Replace	15	6	9	1	EA	\$15,000.00	\$15,000										\$15,000												\$15,000
E1030	Kitchen	9731586	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels, Replace	15	14	1	1	EA	\$1,700.00	\$1,700		\$1,700															\$1,700					\$3,400
E1030	Kitchen	9731621	Foodservice Equipment, Food Warmer, Tabletop Drawers (Set of 4), Replace	15	14	1	1	EA	\$5,700.00	\$5,700		\$5,700															\$5,700					\$11,400
E1030	Kitchen	9731610	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels, Replace	15	14	1	1	EA	\$1,700.00	\$1,700		\$1,700															\$1,700					\$3,400
E1030	Kitchen	9731496	Foodservice Equipment, Walk-In, Evaporator for Refrigerator/Freezer, Replace	15	12	3	1	EA	\$4,600.00	\$4,600				\$4,600															\$4,600			\$9,200
E1030	Kitchen	9731532	Foodservice Equipment, Convection Oven, Single, Replace	10	6	4	1	EA	\$5,600.00	\$5,600					\$5,600										\$5,600							\$11,200
E1030	Kitchen	9731658	Foodservice Equipment, Walk-In, Freezer, Replace	20	16	4	1	EA	\$25,000.00	\$25,000					\$25,000																	\$25,000
E1030	Kitchen	9731582	Foodservice Equipment, Walk-In, Refrigerator, Replace	20	16	4	1	EA	\$15,000.00	\$15,000					\$15,000																	\$15,000
E1030	Kitchen	9731519	Foodservice Equipment, Convection Oven, Single, Replace	10	6	4	1	EA	\$5,600.00	\$5,600					\$5,600										\$5,600							\$11,200
E1030	Kitchen	9731548	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels, Replace	15	9	6	1	EA	\$1,700.00	\$1,700							\$1,700															\$1,700
E1030	Kitchen	9731562	Foodservice Equipment, Dairy Cooler/Wells, Replace	15	9	6	1	EA	\$3,600.00	\$3,600							\$3,600															\$3,600
E1030	Kitchen	9731492	Foodservice Equipment, Walk-In, Evaporator for Refrigerator/Freezer, Replace	15	5	10	1	EA	\$4,600.00	\$4,600											\$4,600											\$4,600
E1070	Gymnasium	9731533	Basketball Backboard, Wall-Mounted, Fixed, Fixed	30	18	12	6	EA	\$3,580.00	\$21,480													\$21,480									\$21,480
Totals, Unescalated											\$7,100	\$12,800	\$315,800	\$161,920	\$99,100	\$6,500	\$449,170	\$410,453	\$1,387,402	\$111,879	\$361,350	\$1,200	\$972,063	\$440,555	\$107,300	\$442,400	\$167,800	\$409,344	\$444,100	\$190,600	\$26,500	\$6,525,336
Totals, Escalated (3.0% inflation, compounded annually)											\$7,100	\$13,184	\$335,032	\$176,934	\$111,538	\$7,535	\$536,332	\$504,805	\$1,757,519	\$145,976	\$485,624	\$1,661	\$1,385,930	\$646,970	\$162,301	\$689,245	\$269,270	\$676,583	\$756,051	\$334,218	\$47,862	\$9,051,672

Georgian Forest Elementary School / Site

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost*	Subtotal	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate
G2020	Site Parking Areas	9731712	Parking Lots, Pavement, Asphalt, Seal & Stripe	5	2	3	45000	SF	\$0.45	\$20,250				\$20,250					\$20,250					\$20,250					\$20,250			\$81,000
G2050	Site Sports Fields & Courts	9731721	Sports Apparatus, Baseball, Backstop Chain-Link, Replace	20	12	8	1	EA	\$5,000.00	\$5,000									\$5,000													\$5,000
G2050	Site Sports Fields & Courts	9731715	Athletic Surfaces & Courts, Basketball/General, Asphalt Pavement, Mill & Overlay	25	15	10	20000	SF	\$3.50	\$70,000											\$70,000											\$70,000
G2050	Site Sports Fields & Courts	9731709	Sports Apparatus, Basketball, Backboard w/ Pole, Replace	25	14	11	4	EA	\$4,750.00	\$19,000												\$19,000										\$19,000
G2050	Site Playground Areas	9731720	Playground Surfaces, Engineered Wood Fiber Chips, 3" Depth, Replace	5	2	3	6000	SF	\$1.00	\$6,000				\$6,000					\$6,000				\$6,000					\$6,000				\$24,000
G2050	Site Playground Areas	9731716	Play Structure, Multipurpose, Medium, Replace	20	14	6	1	EA	\$20,000.00	\$20,000							\$20,000															\$20,000
G2050	Site Playground Areas	9731714	Play Structure, Multipurpose, Small, Replace	20	13	7	1	EA	\$10,000.00	\$10,000								\$10,000														\$10,000
G2050	Site Playground Areas	9731706	Play Structure, Multipurpose, Small, Replace	20	12	8	1	EA	\$10,000.00	\$10,000									\$10,000													\$10,000
G2060	Site General	9731708	Park Bench, Metal Powder-Coated, Replace	20	10	10	4	EA	\$700.00	\$2,800											\$2,800											\$2,800
G2060	Site General	9731713	Picnic Table, Metal Powder-Coated, Replace	20	10	10	3	EA	\$700.00	\$2,100											\$2,100											\$2,100
G2060	Site General	9731718	Bike Rack, Fixed 1-5 Bikes, Replace	20	10	10	2	EA	\$600.00	\$1,200											\$1,200											\$1,200
G2060	Site General	9731722	Trash Receptacle, Heavy-Duty Fixed Concrete, Replace	25	10	15	1	EA	\$1,400.00	\$1,400																\$1,400						\$1,400
G2060	Site General	9731719	Fences & Gates, Fence, Chain Link 4', Replace	40	25	15	800	LF	\$18.00	\$14,400																\$14,400						\$14,400
G2060	Site General	9731717	Fences & Gates, Fence, Chain Link 6', Replace	40	22	18	1700	LF	\$21.00	\$35,700																		\$35,700				\$35,700
G4050	Site Parking Areas	9731710	Pole Light Fixture w/ Lamps, any type 20' High, w/ LED Replacement, 150 W, Replace/Install	20	8	12	8	EA	\$4,000.00	\$32,000												\$32,000										\$32,000
Totals, Unescalated											\$0	\$0	\$0	\$26,250	\$0	\$0	\$20,000	\$10,000	\$41,250	\$0	\$76,100	\$19,000	\$32,000	\$26,250	\$0	\$15,800	\$0	\$0	\$61,950	\$0	\$0	\$328,600
Totals, Escalated (3.0% inflation, compounded annually)											\$0	\$0	\$0	\$28,684	\$0	\$0	\$23,881	\$12,299	\$52,254	\$0	\$102,272	\$26,300	\$45,624	\$38,549	\$0	\$24,616	\$0	\$0	\$105,466	\$0	\$0	\$459,946

* Markup has been included in unit costs.

Appendix G: Equipment Inventory List

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
D10 Conveying													
1	9731570	D1010	Passenger Elevator	Hydraulic, 2 Floors	2500 LB	Georgian Forest Elementary School / Main Building	Elevator Shafts/Utility	Otis	5620	415577	2019		

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
D20 Plumbing													
1	9731598	D2010	Water Heater	Gas, Commercial (125 MBH)	74 GAL	Georgian Forest Elementary School / Main Building	Boiler Room in Front of School	State Industries, Inc.	SBS-75-76-NE 400	2339135915909	2023		
2	9731628	D2010	Backflow Preventer	Domestic Water	1 IN	Georgian Forest Elementary School / Main Building	Boiler Room in Rear of School	Wilkins Zurn	NA	3586731			
3	9731539	D2060	Air Compressor	Tank-Style	5 HP	Georgian Forest Elementary School / Main Building	Boiler Room in Front of School	Curtis	Inaccessible	Inaccessible			
4	9731494	D2060	Supplemental Components	Compressed Air Dryer, Process Support	100 CFM	Georgian Forest Elementary School / Main Building	Boiler Room in Front of School	Hankison	HPR5-10-115	H510A1150802193			

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
D30 HVAC													
1	9731557	D3020	Boiler	Gas, HVAC	2008 MBH	Georgian Forest Elementary School / Main Building	Boiler Room in Front of School	Peerless Boilers	713FDA-WU	7FDA-4225-0385			
2	9731541	D3020	Boiler	Gas, HVAC	2008 MBH	Georgian Forest Elementary School / Main Building	Boiler Room in Front of School	Peerless Boilers	713FDA-WU	7EDA-4226-0385			
3	9731617	D3020	Boiler	Gas, HVAC	1400 MBH	Georgian Forest Elementary School / Main Building	Boiler Room in Rear of School	Fulton	PHW-1400	NA	2010		
4	9731578	D3020	Boiler	Gas, HVAC	1400 MBH	Georgian Forest Elementary School / Main Building	Boiler Room in Rear of School	Fulton	PHW-1400	NA	2010		
5	9731488	D3020	Heat Exchanger	Plate & Frame, HVAC	50 GPM	Georgian Forest Elementary School / Main Building	Boiler Room in Rear of School						
6	9731553	D3020	Unit Heater	Hydronic	65 MBH	Georgian Forest Elementary School / Main Building	Storage room near Gymnasium						6
7	9731512	D3020	Boiler Supplemental Components	Expansion Tank	50 GAL	Georgian Forest Elementary School / Main Building	Boiler Room in Rear of School	Taco	CA368-125	359617	2012		
8	9731493	D3020	Boiler Supplemental Components	Expansion Tank	100 GAL	Georgian Forest Elementary School / Main Building	Boiler Room in Front of School	No dataplate	No dataplate	No dataplate			
9	9731618	D3020	Boiler Supplemental Components	Expansion Tank	30 GAL	Georgian Forest Elementary School / Main Building	Boiler Room in Rear of School	No dataplate	No dataplate	No dataplate			
10	9731571	D3020	Boiler Supplemental Components	Expansion Tank	65 GAL	Georgian Forest Elementary School / Main Building	Boiler Room in Front of School	No dataplate	No dataplate	No dataplate			
11	9731587	D3030	Chiller	Air-Cooled	70 TON	Georgian Forest Elementary School / Main Building	Building Exterior	McQuay	AGZ070DBHNN-ER10	STNU121000112	2012		

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
12	9731551	D3030	Chiller	Air-Cooled, 101 to 150 TON	101 TON	Georgian Forest Elementary School / Main Building	Building Exterior	Daikin Industries	AGZ101EDSEPNN00	STNU190800044	2019		
13	9731490	D3030	Split System	Condensing Unit/Heat Pump	14 TON	Georgian Forest Elementary School / Main Building	Roof	Carrier	38AKS014---600--	4694F22550	1995		
14	9731574	D3030	Split System	Condensing Unit/Heat Pump	5 TON	Georgian Forest Elementary School / Main Building	Roof	United Refrigeration	TZAA-360-2C757	W471432229	2014		
15	9731511	D3030	Split System	Condensing Unit/Heat Pump	2 TON	Georgian Forest Elementary School / Main Building	Roof	Johnson Controls	GAW14L60C22SA	W1M7276063			
16	9731673	D3030	Split System	Condensing Unit/Heat Pump, 5 TON	5 TON	Georgian Forest Elementary School / Main Building	Roof	Carrier	Illegible	4894G00195			
17	9731653	D3030	Split System Ductless	Single Zone	1 TON	Georgian Forest Elementary School / Main Building	Roof	Mitsubishi Electric	PUY-A12NKA7	49U36519D	2024		
18	9731544	D3030	Split System Ductless	Single Zone	1 TON	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
19	9731647	D3030	Split System Ductless	Single Zone	.75 TON	Georgian Forest Elementary School / Main Building	Building Exterior	Mitsubishi Electric	MUZ-GL09NA	63C03592			
20	9731637	D3030	Unit Ventilator	approx/nominal 3 Ton	1250 CFM	Georgian Forest Elementary School / Main Building	Classrooms General						26
21	9731668	D3050	Pump	Distribution, HVAC Chilled or Condenser Water	7.5 HP	Georgian Forest Elementary School / Main Building	Boiler Room in Rear of School	Baldor Reliance	EM3311T	NA			
22	9731656	D3050	Pump	Distribution, HVAC Chilled or Condenser Water	7.5 HP	Georgian Forest Elementary School / Main Building	Boiler Room in Rear of School	Baldor Reliance	EM3311T	NA			

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
23	9731593	D3050	Pump	Distribution, HVAC Chilled or Condenser Water	7.5 HP	Georgian Forest Elementary School / Main Building	Boiler Room in Front of School	U.S. Electrical Motors	E895B	X11X252R880F			
24	9731660	D3050	Pump	Distribution, HVAC Chilled or Condenser Water	7.5 HP	Georgian Forest Elementary School / Main Building	Boiler Room in Front of School	Nidec Motor Corporation	R341	F 06 7863346-0001 M 0028			
25	9731603	D3050	Pump	Distribution, HVAC Heating Water	7.5 HP	Georgian Forest Elementary School / Main Building	Boiler Room in Rear of School	Baldor Reliance	EM3311T	NA			
26	9731581	D3050	Pump	Distribution, HVAC Heating Water	7.5 HP	Georgian Forest Elementary School / Main Building	Boiler Room in Rear of School	Baldor Reliance	Illegible	Illegible			
27	9731607	D3050	Air Handler	Interior AHU, Easy/Moderate Access	8800 CFM	Georgian Forest Elementary School / Main Building	Mechanical Room Near Cafeteria	Carrier	39NXH171NVL64072	0495T64072			
28	9731524	D3050	Air Handler	Interior AHU, Easy/Moderate Access	4000 CFM	Georgian Forest Elementary School / Main Building	Mechanical Closet Near Art Room	Magic Aire	Inaccessible	Inaccessible			
29	9731633	D3050	Air Handler	Interior AHU, Easy/Moderate Access	5000 CFM	Georgian Forest Elementary School / Main Building	105	Carrier	39NXH092 NVR 64073	0495T64073			
30	9731605	D3050	Air Handler	Interior AHU, Integral to Building or Difficult Access, 4000 to 6000 CFM	4000	Georgian Forest Elementary School / Main Building	Storage Room near Main Office	Inaccessible	Inaccessible	Inaccessible			
31	9731517	D3050	Fan Coil Unit	Hydronic Terminal	600 CFM	Georgian Forest Elementary School / Main Building	Boiler Room in Rear of School	IEC	VBA0600211575	825111-50-1	2012		
32	9731518	D3050	Fan Coil Unit	Hydronic Terminal	1000 CFM	Georgian Forest Elementary School / Main Building	210	IEC	VBA1000211592	825111-100-3	2012		
33	9731545	D3050	Fan Coil Unit	Hydronic Terminal	1000 CFM	Georgian Forest Elementary School / Main Building	224	IEC	VBA1000211590	825111-90-3	2012		

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
34	9731555	D3050	Fan Coil Unit	Hydronic Terminal	1000 CFM	Georgian Forest Elementary School / Main Building	215	IEC	VBA1000211602	825111-120-1	2012		
35	9731508	D3050	Fan Coil Unit	Hydronic Terminal	1000 CFM	Georgian Forest Elementary School / Main Building	Rear Boiler Room	IEC	VBA1000211590	825111-90-2	2012		
36	9731585	D3050	Fan Coil Unit	Hydronic Terminal	1000 CFM	Georgian Forest Elementary School / Main Building	226	IEC	VBA1000211592	825111-100-1	2012		
37	9731567	D3050	Fan Coil Unit	Hydronic Terminal	1200 CFM	Georgian Forest Elementary School / Main Building	125	IEC	VBA1200211607	825111-130-1	2012		
38	9731560	D3050	Fan Coil Unit	Hydronic Terminal	600 CFM	Georgian Forest Elementary School / Main Building	233	IEC	VBA0600211578	825111-60-1	2012		
39	9731645	D3050	Fan Coil Unit	Hydronic Terminal	800 CFM	Georgian Forest Elementary School / Main Building	233	IEC	VBA0800211588	825111-80-1	2012		
40	9731597	D3050	Fan Coil Unit	Hydronic Terminal	1000 CFM	Georgian Forest Elementary School / Main Building	Boiler Room in Rear of School	IEC	VBA1000211590	825111-90-1	2012		
41	9731536	D3050	Fan Coil Unit	Hydronic Terminal	1000 CFM	Georgian Forest Elementary School / Main Building	215	IEC	VBA1000211598	825111-110-1	2011		
42	9731654	D3050	Fan Coil Unit	Hydronic Terminal	1000 CFM	Georgian Forest Elementary School / Main Building	210	IEC	VBA1000211590	825111-90-5	2011		
43	9731584	D3050	Fan Coil Unit	Hydronic Terminal	1000 CFM	Georgian Forest Elementary School / Main Building	221	IEC	VBA1000211592	825111-100-2	2012		
44	9731638	D3050	Fan Coil Unit	Hydronic Terminal	1000 CFM	Georgian Forest Elementary School / Main Building	212	IEC	VBA1000211602	825111-120-2	2012		

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
45	9731662	D3050	Fan Coil Unit	Hydronic Terminal	600 CFM	Georgian Forest Elementary School / Main Building	230	IEC	VBA0600211586	825111-70-1	2012		
46	9731615	D3050	Fan Coil Unit	Hydronic Terminal	801 - 1200 CFM	Georgian Forest Elementary School / Main Building	125	IEC	VBA1200211611	825111-140-1	2012		
47	9731504	D3050	Fan Coil Unit	Hydronic Terminal	1000 CFM	Georgian Forest Elementary School / Main Building	212	IEC	VBA1000211598	825111-110-2	2012		
48	9731659	D3050	Fan Coil Unit	Hydronic Terminal	1000 CFM	Georgian Forest Elementary School / Main Building	221	IEC	VBA1000211590	825111-90-4	2012		
49	9731525	D3050	Fan Coil Unit	Hydronic Terminal	600 CFM	Georgian Forest Elementary School / Main Building	230	IEC	VBA0600211578	825111-60-2	2012		
50	9731655	D3050	Packaged Unit	RTU, Pad or Roof-Mounted	8 TON	Georgian Forest Elementary School / Main Building	Roof	AAON, Inc.	RN-008-3-0-EA09-329	201209-ANGH23919	2012		
51	9731561	D3060	Exhaust Fan	Centrifugal, 12" Damper	1000 CFM	Georgian Forest Elementary School / Main Building	Roof	Penn Ventilator Company	Illegible	Illegible			
52	9731604	D3060	Exhaust Fan	Centrifugal, 16" Damper	1500 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
53	9731531	D3060	Exhaust Fan	Centrifugal, 24" Damper	5000 CFM	Georgian Forest Elementary School / Main Building	Roof	Penn Ventilator Company	Illegible	Illegible			
54	9731537	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	250 CFM	Georgian Forest Elementary School / Main Building	Roof	PennBarry	DX11S	H12RZ38800	2012		
55	9731572	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	150 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
56	9731549	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	500 CFM	Georgian Forest Elementary School / Main Building	Roof	No dataplate	No dataplate	No dataplate			
57	9731644	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	150 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
58	9731631	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	200 CFM	Georgian Forest Elementary School / Main Building	Roof	PennBarry	Illegible	Illegible			
59	9731534	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	150 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
60	9731568	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	150 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
61	9731559	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	150 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
62	9731639	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	150 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
63	9731506	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	150 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
64	9731580	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	500 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
65	9731661	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	150 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
66	9731651	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	150 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
67	9731648	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	150 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
68	9731550	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	500 CFM	Georgian Forest Elementary School / Main Building	Roof	Inaccessible	Inaccessible	Inaccessible			
69	9731520	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	500 CFM	Georgian Forest Elementary School / Main Building	Roof	PennBarry	DX10R	K12YZ32971			
70	9731625	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	500 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
71	9731558	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	500 CFM	Georgian Forest Elementary School / Main Building	Roof	No dataplate	No dataplate	No dataplate			
72	9731616	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	250 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
73	9731634	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	150 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
74	9731602	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	150 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
75	9731591	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	150 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
76	9731594	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	150 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
77	9731652	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	150 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
78	9731611	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	500 CFM	Georgian Forest Elementary School / Main Building	Roof	No dataplate	No dataplate	No dataplate			
79	9731505	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	250 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
80	9731576	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	200 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
81	9731624	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	150 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
82	9731565	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	150 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
83	9731620	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	100 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
84	9731646	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	150 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
85	9731547	D3060	Exhaust Fan	Roof or Wall-Mounted, 10" Damper	250 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
86	9731632	D3060	Exhaust Fan	Roof or Wall-Mounted, 12" Damper	1000 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
87	9731649	D3060	Exhaust Fan	Roof or Wall-Mounted, 12" Damper	1000 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
88	9731515	D3060	Exhaust Fan	Roof or Wall-Mounted, 16" Damper	1500 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
89	9731569	D3060	Exhaust Fan	Roof or Wall-Mounted, 16" Damper	1500 CFM	Georgian Forest Elementary School / Main Building	Roof	Inaccessible	Inaccessible	Inaccessible			
90	9731498	D3060	Exhaust Fan	Roof or Wall-Mounted, 16" Damper	1500 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
91	9731601	D3060	Exhaust Fan	Roof or Wall-Mounted, 16" Damper	1500 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
92	9731527	D3060	Exhaust Fan	Roof or Wall-Mounted, 16" Damper	1500 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
93	9731614	D3060	Exhaust Fan	Roof or Wall-Mounted, 16" Damper	1500 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
94	9731613	D3060	Exhaust Fan	Roof or Wall-Mounted, 16" Damper	1500 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
95	9731640	D3060	Exhaust Fan	Roof or Wall-Mounted, 16" Damper	1500 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
96	9731669	D3060	Exhaust Fan	Roof or Wall-Mounted, 16" Damper	1500 CFM	Georgian Forest Elementary School / Main Building	Roof	Inaccessible	Inaccessible	Inaccessible			
97	9731629	D3060	Exhaust Fan	Roof or Wall-Mounted, 16" Damper	1500 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			
98	9731529	D3060	Exhaust Fan	Roof or Wall-Mounted, 24" Damper	2500 CFM	Georgian Forest Elementary School / Main Building	Roof	Illegible	Illegible	Illegible			

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
D40 Fire Protection													
1	9731609	D4010	Backflow Preventer	Fire Suppression	6 IN	Georgian Forest Elementary School / Main Building	Sprinkler Room						

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
D50 Electrical													
1	9731627	D5010	Generator	Gas or Gasoline	80 KW	Georgian Forest Elementary School / Main Building	Building Exterior	Kohler	80REZGD	SGM322K72			
2	9731592	D5010	Automatic Transfer Switch	ATS	400 AMP	Georgian Forest Elementary School / Main Building	Boiler Room in Rear of School				2010		
3	9731674	D5010	Automatic Transfer Switch	ATS	400 AMP	Georgian Forest Elementary School / Main Building	Boiler Room in Rear of School				2010		
4	9731635	D5020	Secondary Transformer	Dry, Stepdown	30 KVA	Georgian Forest Elementary School / Main Building	Boiler Room in Rear of School	GE	9T61C9872G83	1M00013HA			
5	9731641	D5020	Secondary Transformer	Dry, Stepdown	15 KVA	Georgian Forest Elementary School / Main Building	Elevator Shafts/Utility	GE	9T23B3871	Inaccessible			
6	9731521	D5020	Secondary Transformer	Dry, Stepdown	15 KVA	Georgian Forest Elementary School / Main Building	Fire Control Room	GE	9T83C9871G80	1M00010IZ			
7	9731665	D5020	Secondary Transformer	Dry, Stepdown	15 KVA	Georgian Forest Elementary School / Main Building	Fire Control Room	GE	9Q3C015AAA13C1N2L0T	1M00012LW	2012		
8	9731672	D5020	Secondary Transformer	Dry, Stepdown	112.5 KVA	Georgian Forest Elementary School / Main Building	Main Electrical Shutoff Room	Powersmiths	Esaver-80R-112.5-480-208-T115	223-004937-100-A01	2024		
9	9731589	D5020	Secondary Transformer	Dry, Stepdown	15 KVA	Georgian Forest Elementary School / Main Building	Fire Control Room	GE	9T83C9871G80	1M00010Y5			
10	9731499	D5020	Secondary Transformer	Dry, Stepdown	45 KVA	Georgian Forest Elementary School / Main Building	226	GE	9T83C9873G80	M00012K5			
11	9731643	D5020	Secondary Transformer	Dry, Stepdown	45 KVA	Georgian Forest Elementary School / Main Building	Boiler Room in Rear of School	GE	Illegible	M00012JV			

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
12	9731489	D5020	Secondary Transformer	Dry, Stepdown	45 KVA	Georgian Forest Elementary School / Main Building	Boiler Room in Rear of School	GE	9T83C9473G83	1M00013HC			
13	9731501	D5020	Switchboard	277/480 V	1600 AMP	Georgian Forest Elementary School / Main Building	Main Electrical Shutoff Room	GE	178SB18820E32	NA			
14	9731516	D5020	Distribution Panel	120/208 V	400 AMP	Georgian Forest Elementary School / Main Building	Main Electrical Shutoff Room	GE	AQF3364CBX	NA			
15	9731623	D5020	Distribution Panel	277/480 V	800 AMP	Georgian Forest Elementary School / Main Building	Boiler Room in Rear of School	GE	722KC458	178PP94765	2012		
16	9731486	D5030	Variable Frequency Drive	VFD, by HP of Motor	7.5 HP	Georgian Forest Elementary School / Main Building	Boiler Room in Rear of School	ABB	ACH550-VDR-012A-4	2123803197	2010		
17	9731599	D5030	Variable Frequency Drive	VFD, by HP of Motor	7.5 HP	Georgian Forest Elementary School / Main Building	Boiler Room in Rear of School	ABB	ACH550-VDR-012A-4	2123803194	2010		

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
D70 Electronic Safety & Security													
1	9731583	D7050	Fire Alarm Panel	Fully Addressable		Georgian Forest Elementary School / Main Building	Main Electrical Shutoff Room						

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
E10 Equipment													
1	9731532	E1030	Foodservice Equipment	Convection Oven, Single		Georgian Forest Elementary School / Main Building	Kitchen						
2	9731519	E1030	Foodservice Equipment	Convection Oven, Single		Georgian Forest Elementary School / Main Building	Kitchen						
3	9731562	E1030	Foodservice Equipment	Dairy Cooler/Wells		Georgian Forest Elementary School / Main Building	Kitchen	Continental Refrigerator	MC5-DCW	Illegible			
4	9731586	E1030	Foodservice Equipment	Food Warmer, Proofing Cabinet on Wheels		Georgian Forest Elementary School / Main Building	Kitchen	Low Temp	KCH2M-CPA	F95B0994	1995		
5	9731548	E1030	Foodservice Equipment	Food Warmer, Proofing Cabinet on Wheels		Georgian Forest Elementary School / Main Building	Kitchen						
6	9731610	E1030	Foodservice Equipment	Food Warmer, Proofing Cabinet on Wheels		Georgian Forest Elementary School / Main Building	Kitchen	Low Temp	K60-CFT	F95C0993			
7	9731621	E1030	Foodservice Equipment	Food Warmer, Tabletop Drawers (Set of 4)		Georgian Forest Elementary School / Main Building	Kitchen	Low Temp	KCTAL-5	F95C0992	1995		
8	9731496	E1030	Foodservice Equipment	Walk-In, Evaporator for Refrigerator/Freezer		Georgian Forest Elementary School / Main Building	Kitchen	BOHN	ADT070AK	T13J09580			
9	9731492	E1030	Foodservice Equipment	Walk-In, Evaporator for Refrigerator/Freezer		Georgian Forest Elementary School / Main Building	Kitchen	Trenton Refrigeration	TPLP207LES2DR6	239102320			
10	9731658	E1030	Foodservice Equipment	Walk-In, Freezer		Georgian Forest Elementary School / Main Building	Kitchen						
11	9731582	E1030	Foodservice Equipment	Walk-In, Refrigerator		Georgian Forest Elementary School / Main Building	Kitchen						